



**CITY OF GLENDALE
City Hall
Glendale, Wisconsin 53209**

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AGENDA-PLANNING AND ARCHITECTURAL REVIEW BOARD MEETING

Tuesday, August 5, 2025

6:00 PM

Members: Chairman and Mayor Bryan Kennedy, Alderman Phillip Bailey,
Amanda Seligman, Shauntay Nelson, Fredrick Cohn, Shawn Storey,
Traci Fernandez, and Raymond Carlson (Alternate)

- 1. Roll Call and Pledge of Allegiance**
- 2. Adoption of Minutes**
 - a. Adoption of Minutes: July 1, 2025
- 3. New Business**
 - a. Business Use Approval: Vivo Infusion, 5575 N Port Washington Road, Taxkey Number 1968985001
 - b. Site Plane and Architectural Review: 7-Brew, 5265 N Port Washington Road, Taxkey Number 1968003000
- 4. Adjournment**

The Planning and Architectural Review Commission currently holds meetings in person at City Hall, or an alternative physical location as allowed by the City Ordinance. As a courtesy to residents, Council meetings will also be made available live on Zoom virtual platform for viewing and possible participation. However, the City cannot guarantee the technology supporting the virtual viewing option will operate perfectly and continuously. The only way to guarantee the ability to offer public comment, or view the meeting uninterrupted, is to appear in person. If the Zoom platform fails, the meeting will continue as scheduled.



CITY OF GLENDALE

City Hall

Glendale, Wisconsin 53209

MINUTES- Planning and Architectural Review Board

Tuesday, July 1, 2025

6:00 PM

1. Roll Call and Pledge of Allegiance

2. Adoption of Minutes

a. Adoption of Minutes: June 3, 2025

Motion made by Commissioner Seligman and Seconded by Commissioner Storey to Adopt the Minutes: June 3, 2025

Ayes: Alderman Bailey, Commissioners Nelson, Seligman, Storey, Carlson

Noes: None

Abstain: Commissioner Cohn

Motion passed.

3. Public Hearing

a. Conditional Use, Site Plan and Architectural Plan Approval: Glendale Heights
Childcare, 6045 N Green Bay Avenue, Taxkey Number 1619981000

City Planning consultant Meredith Perks provided an overview of the proposed conditional use and site plan for Glendale Heights Childcare, specifically pointing out that the applicant has been asked to ensure no left turns are allowed out of the site to prevent any backups during peak times of drop-off and pick-up. The approval was also noted to be conditional based on some outstanding review requirements. Mayor Kennedy inquired about how many parking spaces we are requiring as a daycare typically doesn't need much. Perks said the minimum is 26 and the maximum is 52. Commissioner Seligman questioned why the traffic study used a school in comparison to a daycare as they have different queuing patterns. A representative from the daycare provided a brief description of how drop-off and pickup work. Administrator Warwick mentioned traffic studies are conducted by specialists and they used the best possible comparison. Commissioner Cohn inquired if the current tenants would remain. Perks noted they would not. Commissioner Nelson asked if the fencing is buffered enough from traffic to ensure safety. Perks said the play area would be to the rear of the building and enclosed.

Mayor Kennedy opened up the public hearing asking multiple times if anyone in the chambers or online wished to speak. No one came forward.

Motion made by Commissioner Cohn and Seconded by Commissioner Carlson to close the public hearing.

Ayes: Unanimous

Noes: None

Abstain: None

Motion passed.

Motion made by Commissioner Carlson and Seconded by Commissioner Storey to approve the staff recommendation for the Conditional Use, Site Plan and Architectural Plan Approval: Glendale Heights Childcare, 6045 N Green Bay Avenue, Taxkey Number 1619981000.

Ayes: Unanimous

Noes: None

Abstain: None

Motion passed.

4. New Business

- a. Review and Recommendation: *Ordinance:* Amending 13.1.20 (b) of the Zoning Code to allow "General Business Offices with Common Accessory Uses (light manufacturing) not exceeding 60 percent of the gross floor area of the primary structure" as a permitted use in the B-1 "C-1" Zoning District, to allow "Physical Activity Studio" as a Permitted Use B-5 Zoning Districts and Amending 13.1.200, "Definitions" to add "Physical Activity Studio".

Administrator Warwick provided an overview of the proposed zoning text amendments to create two permitted uses in two different zoning districts. Commissioner Seligman questioned why a new definition needed to be made for Top Line when places like Elite Fitness were approved previously. Administrator Warwick noted that places like Elite meet other definitions elsewhere in the code, but this is more specialized that it needed a new permitted use type.

Motion made by Commissioner Storey and Seconded by Commissioner Cohn to recommend approval to the Common Council *Ordinance:* Amending 13.1.20 (b) of the Zoning Code to allow "General Business Offices with Common Accessory Uses (light manufacturing) not exceeding 60 percent of the gross floor area of the primary structure" as a permitted use in the B-1 "C-1" Zoning District, to allow "Physical Activity Studio" as a Permitted Use B-5 Zoning Districts and Amending 13.1.200, "Definitions" to add "Physical Activity Studio".

Ayes: Unanimous

Noes: None

Abstain: None

Motion passed.

- b. Business Use Approval: Top Line Gym, 2345 W Mill Rd, Taxkey Number 1609015000

Assistant to the Administrator Polony provided a brief overview of the applicant and business use approval. Administrator Warwick followed up to note they are an existing business in

Glendale.

Motion made by Commissioner Carlson and Seconded by Alderman Bailey to grant Business Use Approval: Top Line Gym, 2345 W Mill Rd, Taxkey Number 1609015000.

Ayes: Unanimous

Noes: None

Abstain: None

Motion passed.

- c. Business Use Approval: Bernie's Book Bank, 5235 North Ironwood Road, Taxkey Number 1968996000

Assistant to the Administrator Polony provided a brief overview of the applicant and business use. A representative from Bernie's then presented a presentation giving a general overview of the planned use of the building and the organization itself.

Motion made by Commissioner Cohn and Seconded by Commissioner Storey to grant Business Use Approval: Bernie's Book Bank, 5235 North Ironwood Road, Taxkey Number 1968996000.

Ayes: Unanimous

Noes: None

Abstain: None

Motion passed.

- d. Business Use Approval: WMSVision Detail Hub, 6161 N Flint Road, Taxkey Number 1609035000

Assistant to the Administrator Polony provided a brief overview of the applicant and business use. The owners of the business spoke briefly about their business. Commissioner Nelson asked about the collection services side of the business to confirm there is no hazardous material collected, which the owners confirmed there is none.

Motion made by Commissioner Cohn and Seconded by Commissioner Carlson to grant Business Use Approval: WMSVision Detail Hub, 6161 N Flint Road, Taxkey Number 1609035000.

Ayes: Unanimous

Noes: None

Abstain: None

Motion passed.

5. Adjournment

Planning Consultant Meredith Perks provided a brief update on the progress of the CORP and a live survey to share with the community.

Motion made by Commissioner Cohn and Seconded by Commissioner Carlson to Adjourn.

Ayes: Unanimous

Noes: None

Abstain: None

Motion passed.

Meeting adjourned at 6:45 p.m.

[MIN_SIGNATURES]

SUBJECT: Business Use Approval: Vivo Infusion: 5575 N Port Washington Road,
Taxkey Number 1968985001

FROM: Benjamin Polony, Assistant to the Administrator

MEETING: Planning and Architectural Review Commission August 5th, 2025

MEETING DATE: August 5, 2025

FISCAL SUMMARY:

Budget Summary: N/a

Budgeted Expenditure: N/a

Budgeted Revenue: N/a

STATUTORY REFERENCE:

Wisconsin Statutes: N/a

Municipal Code: 13.1.20

BACKGROUND & ANALYSIS: Vivo Infusion is a national provider of outpatient infusion therapy services seeking to open a new location at 5575 N Port Washington Road in the B-1 "D-2" Business and Commercial District. Vivo Infusion administers therapies for conditions in neurology, immunology, dermatology, and more. Treatments are provided under the supervision of highly trained nurses and pharmacists.

In the B-1 "D-2" Business and Commercial District, medical offices are listed as a permitted use, which Vivo Infusion has been determined by city staff to meet the definition.

RECOMMENDATION: Grant Business Use Approval to Vivo Infusion, 5575 N Port Washington Road, Taxkey Number 1968985001

ACTION REQUESTED: Motion to Grant Business Use Approval to Vivo Infusion, 5575 N Port Washington Road, Taxkey Number 1968985001

ATTACHMENTS:

Vivo Infusion PARC Application, Vivo Infusion Business Description, Vivo Location

Plan of Operation / Business Plan Submission Information

For applications regarding approval of a new business please provide the following information in a written plan of operation or business plan.

1. Name of Business, Address **Vivo Infusion 5575 N PORT WASHINGTON RD GLENDALE, WI 53217**
2. Name of Owner, Address **Parker Adkins 3401 Mallory Lane, Suite 100 Franklin, TN 37067**
3. Name of Applicant (if different from owner) **Nadia Kmetich nkmetich@hsbarch.com 4403216706**
4. Legal Description of Property **Business and Commercial District**
5. Tax-Key **1968985001**
6. Zoning of Property **B-1, D2**
7. Project Description **Interior renovation of existing office suite including new partitions, finishes, furniture, and mechanical, electrical, and plumbing work to accommodate new layout.**
8. Lot Size (Depth, Width, Area) **~210' x 240' 50,400 sf**
9. Dimensions and all levels (floors) of buildings **~110'x62' 1 story**
10. Total Floor Area **~6,820 sf area of work: 1,886sf**
11. Specific uses of the entire property and buildings **Panera Bread, Pearle Vision, Jos. A. Bank**
12. Minimum and maximum numbers of employees **3-4**
13. Days of Operation **~Monday-Friday 8:00-6:00**
14. Hours of Operation **Saturday and Sunday by appointment**
15. Signage (Type, Lighted?, Wall, Free-Standing, Monuments, Size, Location, etc.) **N/A**
16. What Conditions has the State or County imposed upon your use of the property? **N/A**
17. Security Fencing **N/A**
18. Do you feel there will be any problems such as Noise, Odors, Glare, Potential Fire Hazards, or Smoke resulting from the proposed use? **No**
19. Are you proposing food services? **No**
20. Did the State of Wisconsin approve your interior building plans? **No**
21. What provisions are you making for fire protection and human safety? **Fire sprinkler and alarm**
22. What are your rules and regulations of the property?
23. List the Timetable for completion of building construction and anticipated opening date. **11/17/25**
24. Proposed On-site Security Measures
25. Anticipated maximum number of facility users and viewers at one time (including special events) **13**
26. Any other information you or the Plan Commission may determine is pertinent.
27. Business Plan
28. Entire Grant Application and County Issued Request for Proposal
29. Your Name, Signature, and Date on the Plan of Operation Document

OTHER INFORMATION REQUIRED

In addition to the information above, the following items are also required:

- Complete set of building plans (floor plans, elevation drawings, artistic images).
- Set of any site and landscaping plans.
- Set of any lighting and sign plans.
- Cover correspondence to include a narrative description of the proposed use and operations.

ZONING AND DEVELOPMENT APPLICATION

FEE SCHEDULE

Application Type	Fee	Application Type	Fee
Standard Application	\$ 300	CSM	\$ 175 + \$15 per lot
Architectural Review:	\$ 50	Plat Review Preliminary	\$ 100 + \$5 per dwelling unit
Zoning Text or Map Amendment	\$ 250	Plat Review Preliminary - Re Application Fee	\$ 50
Zoning Text or Map Amendment - Planned Unit Development	\$ 500	Plat Review Final	\$ 50 + \$5 per dwelling unit
Conditional Use Permit – Minor	\$ 125	Plat Review Final Plat - Reapplication Fee	\$ 25
Conditional Use Permit - Standard	\$ 300	Sign Appeal	\$ 300
Conditional Use Permit - Wetland Areas	\$ 300	Street Renaming	\$ 1,000

APPLICANT INFORMATION

Name of Applicant: _____
 Legal Name of Business: _____
 Name of Business Owner (if different from Applicant): _____
 Applicant Address (City, State, and Zip Code): _____
 Office Phone Number: _____ Cell: _____ Fax: _____
 Applicant E-Mail: _____
 Applicants Signature: Nadia Kmetich Date: _____

PROPERTY INFORMATION

☒ Property Number
 Property Address: _____ Tax Key Number: _____ Zoning District: _____
 Project Description: _____
 Property Owner (if different from Applicant): _____
 Property Owner Address (City, State, and Zip Code): _____
 Property Owner Phone: _____ Cell: _____ Fax: _____
 Property Owner E-Mail: _____
 Property Owner Signature: Parker Adkins Date: _____

PRIMARY CONTACT

Primary Contact Person for this Project: _____
 Primary Contact Phone: _____ Cell: _____ Fax: _____
 Primary Contact E-Mail: _____

IMPORTANT NOTE: The City of Glendale is not accepting paper document submittals. Plan Commission Review Submittals are required to be submitted via email to b.polony@glendalewi.gov with PDF documents attached or as a web link to the PDF documents. Fee remittals may be delivered to Glendale City Hall, deposited in the drop box in front of City Hall, or mailed to:

City of Glendale, WI, 5909 North Milwaukee River Parkway, Glendale, WI 53209-3815,
 Attn: Community Development Department

CITY OF GLENDALE USE ONLY

Application Fee: _____ Date of Application: _____ Time: _____ Received by with date: _____ Tentative Hearing Date: _____

CH-DATA\ICH-SERVER) (G:\Community Development Planning Department\0003 Plan Commission Administration (2-4-4-)/001 PLAN COMMISSION PROCEDURES\09152021 Plan Commission Review Application

SUPPLEMENTARY INFORMATION:

Type of review being requested: _____

Name of Business and Type of Business/Use (Please be specific): _____

Total Building Area: _____ To Be Occupied Area: _____

Lot Size: Depth: _____ Width: _____ Area: _____

Previous Occupant in To Be Occupied Space: _____

Other Uses of This Site: _____

Total Number of Parking Spaces: _____ Parking Spaces Available to Tenancy: _____

Business Hours (Days and Hours of Operation): _____

Total Number of Employees: _____ Maximum Number of Employees at Site at One Time: _____

For applications regarding approval of a new business please refer to the list of information that should be included with a plan of operation or business plan.



July 18, 2025

Vivo Infusion
1726 Cole Blvd, Suite 250
Lakewood, CO 80401

To whom it may concern,

Vivo Infusion is a national provider of outpatient infusion therapy services, offering a wide range of intravenous (IV) treatments for chronic and acute conditions. Headquartered in Colorado, Vivo operates a network of ambulatory infusion centers (AICs) across the United States, providing high-quality, cost-effective care in convenient, non-hospital settings.

Vivo Infusion administers therapies for conditions in neurology, immunology, rheumatology, gastroenterology, dermatology, and more. Treatments include biologics, specialty medications, and injectable therapies, delivered under the supervision of highly trained nurses and pharmacists. The company works closely with physicians, payers, and patients to ensure coordinated care and positive clinical outcomes.

Vivo has experienced significant growth through a combination of strategic acquisitions and organic expansion. It continues to expand its footprint by opening new centers and acquiring existing infusion practices, aiming to improve patient access and geographic coverage. Vivo positions itself as a patient-centric, value-based care provider in the rapidly growing infusion therapy market. If you have further questions, please reach out to me at padkins@vivoinfusion.com.

A handwritten signature in black ink that reads 'Parker Adkins' in a cursive script.

Parker Adkins
Director of Business Development



SUBJECT: Site Plane and Architectural Review: 7-Brew, 5265 N Port Washington Road, Taxkey Number 1968003000

FROM: Meredith Perks, Vandewalle & Associates, City Planner

MEETING: Planning and Architectural Review Commission August 5th, 2025

MEETING DATE: August 5, 2025

FISCAL SUMMARY:

Budget Summary: N/a

Budgeted Expenditure: N/a

Budgeted Revenue: N/a

STATUTORY REFERENCE:

Wisconsin Statutes: N/a

Municipal Code: 13.1.210

BACKGROUND & ANALYSIS: 7Brew is a drive-through-only coffee business with a growing number of locations in Southeastern Wisconsin and other states. The applicant is requesting site plan review after securing a waiver from the Common Council on April 14, 2025, to allow for the drive-through facility per the Glendale Zoning Code, Section 13.1.210. The property is owned by the applicant and is zoned B-1, B. The restaurant use is permitted in the zoning district, so there is no rezoning required for this application.

Section 13.1.210 of the City Code prohibits drive-thru facilities from being located within 250 feet of another drive-thru facility, except the "common council may elect to waive the 250-foot minimum distance requirement for properties abutting I-43 and if the developer produces a long-term lease or easement demonstrating permanent access to a neighboring property permitting the drive-through to allow additional vehicle queuing and parking."

The Common Council voted to waive the distance requirement to permit this location for a drive-thru facility. Now, the remaining approval is the site plan and architectural approval from the Planning and Architectural Review Commission (PARC).

The site currently contains a restaurant building and associated parking. The parcel is irregularly shaped and includes several shared parking agreements and easements with neighboring businesses, as well as the Wisconsin DOT. The redevelopment will contain a 530-square-foot coffee shop with an outdoor patio, a 250-square-foot stand-alone cooler building, and two drive-thru lanes with pass-thru lanes. 7 Brew will offer a full menu of coffee drinks, energy drinks, Italian sodas, smoothies, shakes, teas, and more. 7 Brew staff will take orders from each car individually, using hand-held electric devices to take orders. They do not utilize a speaker system menu board. Orders will be hand-delivered by staff at both lanes. The business will have a total of 60 employees with a maximum shift of 12. According to the application, business hours will be from Sunday to Thursday from 5:30 AM to 10:30 PM and Friday & Saturday from 5:30 AM to 11:00 PM. The applicant has completed a Phase II Environmental Assessment on the site and has proposed an engineered asphalt cap as a mitigation solution.

The Glendale Zoning Code requires a restaurant with a 15-person maximum capacity to provide between 6 and 9 parking stalls. The proposed plan includes 12 stalls for this development. At the same time, additional parking is provided in the area surrounding the site as part of existing shared parking agreements with surrounding businesses and the DOT. City staff suggest accepting the proposed parking plan as it aligns with the existing parking on site and services the existing shared parking agreements. The Code also requires at least 1 bicycle parking spot. A bike rack is indicated on the parking plan. The proposed parking design meets code standards.

The Glendale Zoning Code Section 13.1.210 outlines design requirements for drive-through facilities. The proposed design of the two drive-through lanes and access lanes meets the code standards. The business will not use a speaker box.

One update to the site plan will be necessary to comply with Code standards; the drive-through lanes 1 and 2 must be marked as starting 25 feet from the driveway on the south end of the property. This can be indicated by painted markers as well as the positioning of employees taking orders.

City Engineering staff have reviewed the site plan and provided comments, including emphasizing that traffic from vehicles exiting the drive-through lanes could experience delays and backup on site while waiting to turn on Port Washington Road. The City will require that if there are any impacts on traffic on North Port Washington Road in the future, the business may be required to make changes to the circulation on site, including but not limited to prohibiting left turns onto North Port Washington Road.

The application included landscaping and photometric plans, as required. The photometric plans meet City standards; however, the applicant will be required to submit lighting fixture specifications for final approval. Staff have provided comments on the landscape plan (see attached comments on the landscape plan) to improve species selection and enhance the landscape design along the parking and street frontages. Recommendations include adding shade trees for safer visibility and the reduction of heat islands. Staff also recommend

incorporating shrubs with taller trees to improve screening and adding interest with variation and color. The applicant must provide an updated landscaping plan addressing these changes for staff approval.

The applicant must submit a Sign Permit Application and required materials for all signs on site, including wall signs and wayfinding signs, to promote safety and walkability on site per the drive-through regulations.

Exterior elevation documents provide a materials schedule. The applicant must provide material specifications as a condition of site plan and architectural approval.

City Services and Engineering comments are attached in Appendix A.

RECOMMENDATION: Staff recommends approval of the site and architectural plan for 5256 North Port Washington Road, subject to the following conditions prior to receiving construction permits:

1. Provision of a Sign Permit for approval.
2. Provision of an updated landscape plan addressing staff comments provided in this report.
3. Provision of an updated site plan demonstrating the adjustment of the drive through lane entry markings for 25 feet north of the driveway line.
4. Provision of light fixture and exterior material specifications.
5. Adherence with Engineering and City Services comments.
6. The requirement that if there any impacts on traffic on North Port Washington Road in the future, the business may be required to make changes to the circulation on site, including but not limited to prohibiting left turns onto North Port Washington Road.

ACTION REQUESTED: Motion to approve the site and architectural plan for 5256 North Port Washington Road, subject to the following conditions prior to receiving construction permits:

1. Provision of a Sign Permit for approval.
2. Provision of an updated landscape plan addressing staff comments provided in this report.
3. Provision of an updated site plan demonstrating the adjustment of the drive-through lane entry markings for 25 feet north of the driveway line.
4. Provision of light fixture and exterior material specifications.
5. Adherence with Engineering and City Services comments.
6. If there are impacts on traffic on North Port Washington Road in the future, the business may be required to make changes to the circulation on site, including but not

limited to prohibiting left turns onto North Port Washington Road.

ATTACHMENTS:

Traffic Memo, Sealed Civil Plans, PARC App, Updated Landscaping



July 14, 2025

Drive-Thru Queueing

Project: 7 Brew
5265 N. Port Washington Rd.
Glendale, WI 53217

Please accept the following 7 Brew field survey data and data derived from the ITE Trip Generation Manual as it relates to the subject site. A drive-thru coffee/drink stand is a convenience use and by the nature of the business has a high percentage of customers pass-by traffic captured from area trip generators. Utilizing the ITE Trip Generation Manual Table 3.2, it depicts trips generated for the proposed land use (938) with a high percentage of customers being pass-by traffic. One study depicts pass-by traffic accounting for in excess of 90% of all customers. The north drive allows right in, right out, while south access allows full maneuvers. Internal access is available for either entry.

7 Brew locations operate a double drive-thru with Texters taking orders directly from customers as they enter the drive-thru. This method of order, in place of a traditional drive-thru order point, is a much more efficient process allowing 7 Brew customers to spend on average a little over five minutes on site and under three minutes once the order has been placed. A typical 7 Brew location has peak traffic arriving to the site between 7:00 AM and 9:00 AM, and in the case of an onsite study the peak 15-minute increment between 7:15 AM and 7:30 AM. During this 15-minute increment a total of 22 vehicles entered the site. The maximum number of vehicles in queue during the peak time was 14 with an average time on site of five minutes and thirty-one seconds. ITE Trip Gen results are provided as an attachment.

Should you have any questions related to the data provided, please do not hesitate to contact Excel Engineering, Inc.

Sincerely,

Excel Engineering, Inc.

A handwritten signature in black ink, appearing to read "Eric Drazkowski".

Eric Drazkowski, P.E.
Project Manager

Coffee/Donut Shop with Drive-Through Window and No Indoor Seating (938)

Vehicle Trip Ends vs: Drive-Through Lanes

On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 10

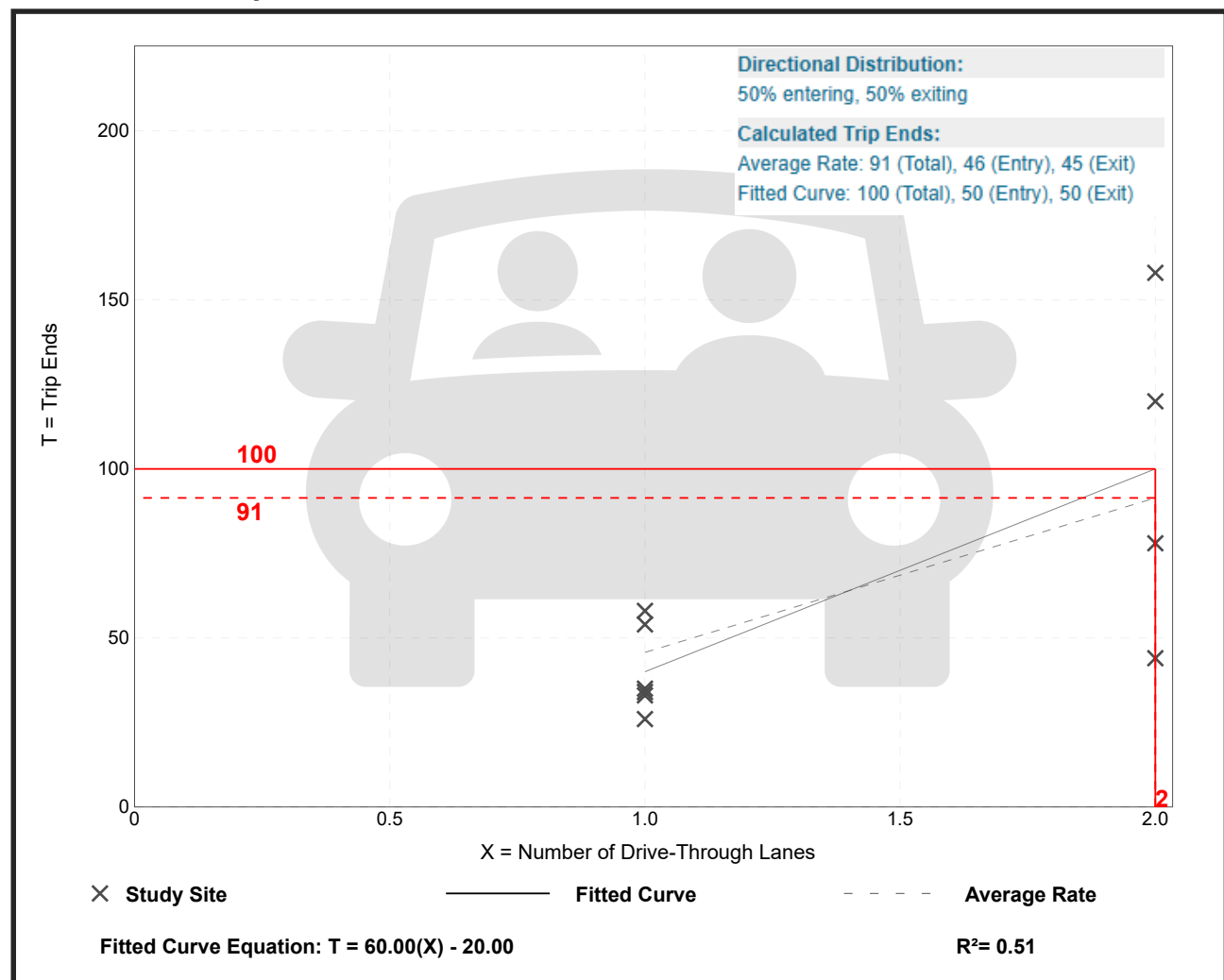
Avg. Num. of Drive-Through Lanes: 1

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Drive-Through Lane

Average Rate	Range of Rates	Standard Deviation
45.71	22.00 - 79.00	19.64

Data Plot and Equation



Coffee/Donut Shop with Drive-Through Window and No Indoor Seating (938)

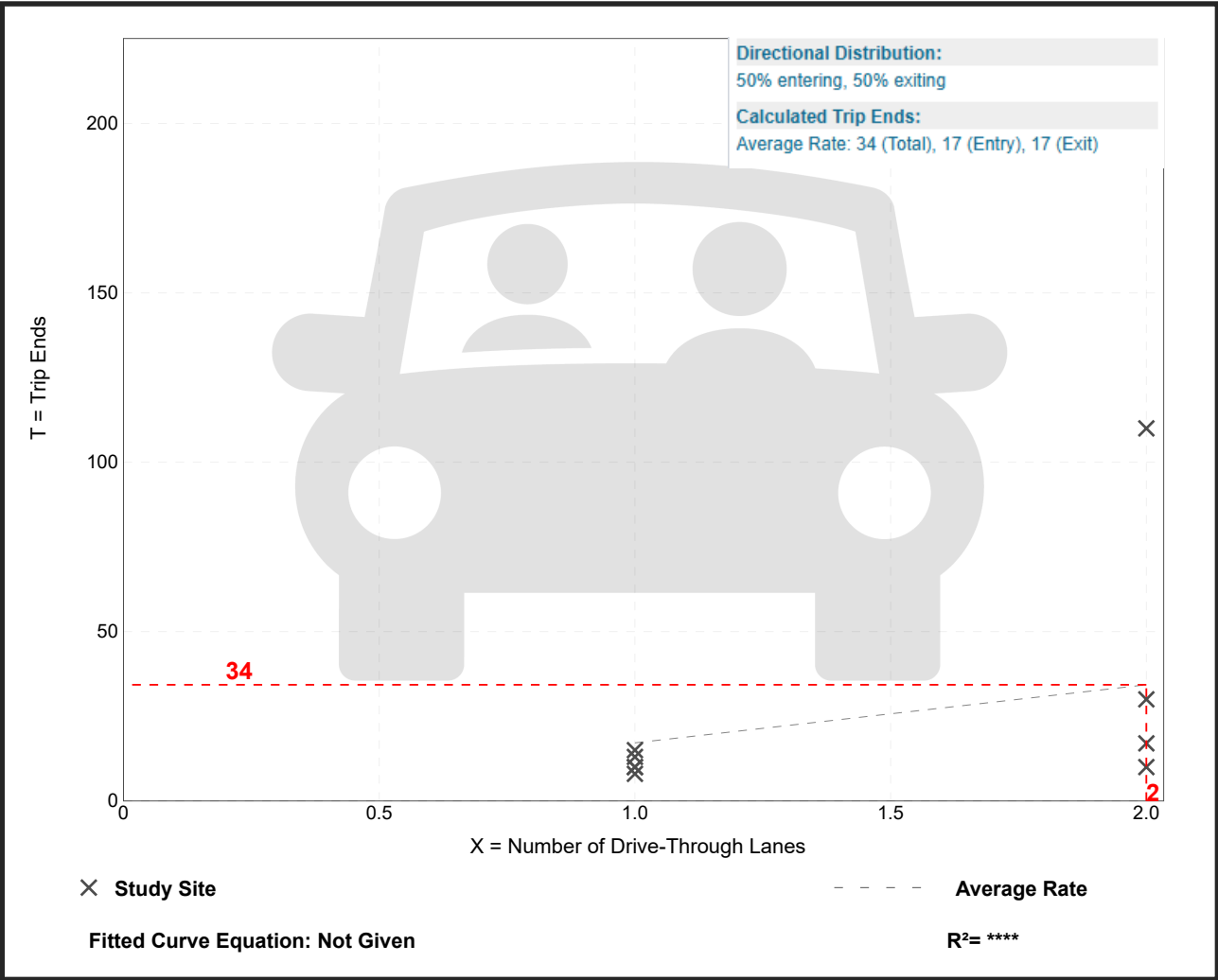
Vehicle Trip Ends vs: Drive-Through Lanes
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 9
Avg. Num. of Drive-Through Lanes: 1
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Drive-Through Lane

Average Rate	Range of Rates	Standard Deviation
17.15	5.00 - 55.00	17.47

Data Plot and Equation

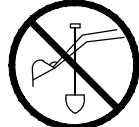


PROPOSED COFFEE SHOP FOR: MILBREW - 7 BREW

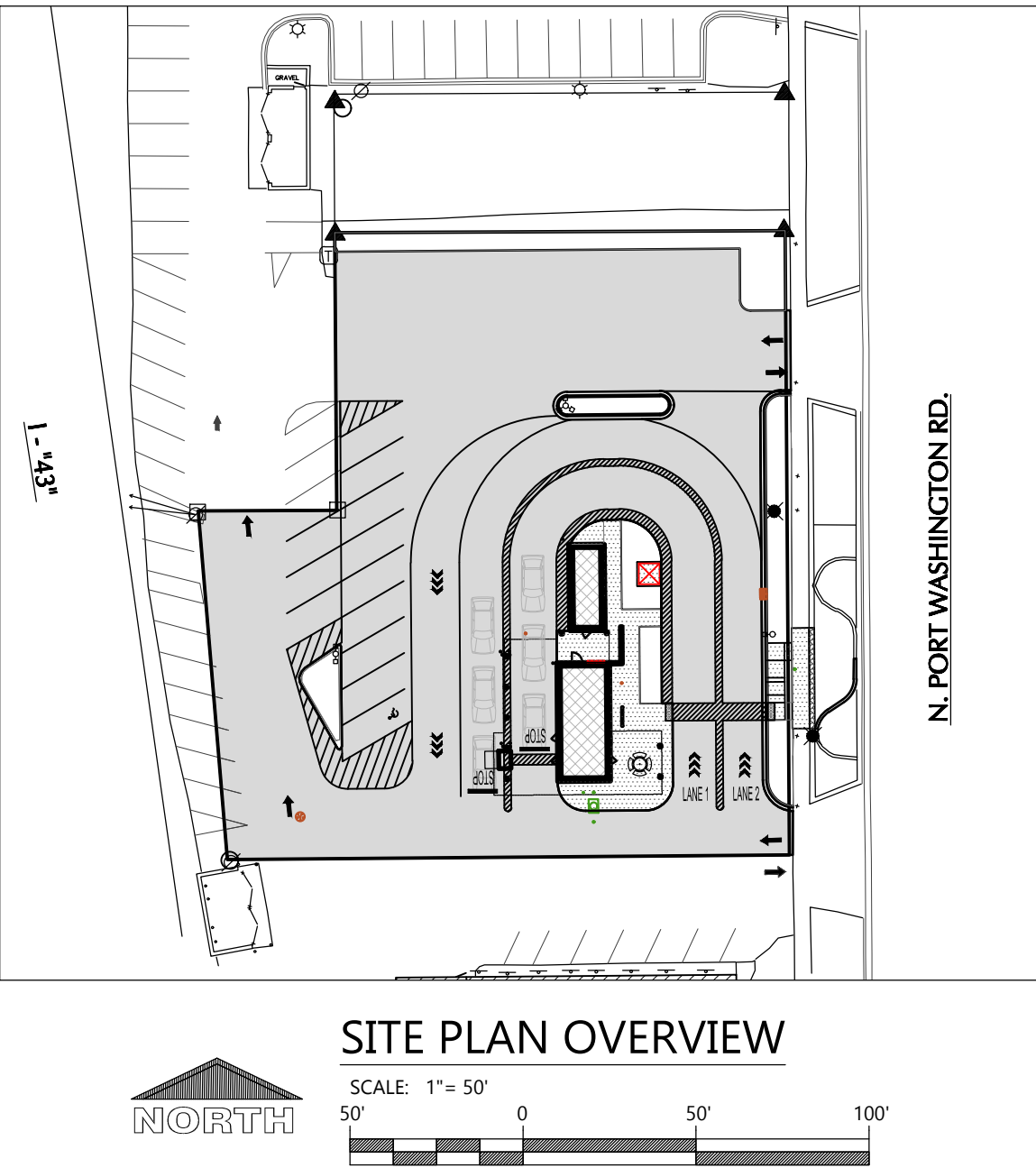
GLENDALE, WI

PROJECT INFORMATION

LEGAL DESCRIPTION:
PARCEL 1 OF CERTIFIED SURVEY MAP NO. 5967, BEING ALL OF LOTS 6 AND 7 AND THE EAST 1/2 OF VACATED ALLEY ADJOINING ON THE WEST, IN BLOCK 10 IN MOORELAND SUBDIVISION AND UNPLANTED LANDS ADJOINING ON THE SOUTH IN THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, IN TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE CITY OF GLENDALE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, RECORDED IN THE OFFICE OF REGISTER OF DEEDS FOR MILWAUKEE COUNTY ON APRIL 11, 1994 IN REEL 3264 AT IMAGES 879-881 INCLUSIVE AS DOCUMENT NO. 6932798.
TOGETHER WITH A NON-EXCLUSIVE CROSS-PARKING AGREEMENT RECORDED MAY 23, 1994 IN VOLUME 3294 OF RECORDS, AT PAGE 910 AS DOCUMENT NO. 6954199 AND THE EASEMENT AGREEMENT RECORDED ON JULY 13, 1999 IN VOLUME 4603 AT PAGE 769 IN DOCUMENT NO. 7771945.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED)
1-800-542-2289
WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.			
SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
SPOT ELEVATIONS			
• 1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	◐ 1000.00 TC 1000.00 FL	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
• 1000.00 EG	EXISTING GRADE SPOT ELEVATIONS		
◐ 1000.00 BG 1000.00 FG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL FG-FINISHED SURFACE GRADE AT FRONT OF WALL	◐ 1000.00 TW 1000.00 BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
EXISTING SITE SYMBOLS			
	EXISTING SIGN		EXISTING UTILITY POLE
	EXISTING HANDICAP PARKING STALL		EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING WATER VALVE IN BOX		EXISTING STREET LIGHT
	EXISTING WATER VALVE IN MANHOLE		EXISTING TELEPHONE PEDESTAL
	EXISTING WATER SERVICE VALVE		EXISTING ELECTRIC PEDESTAL
	EXISTING WELL		EXISTING ELECTRIC BOX
	EXISTING STORM CATCH BASIN		EXISTING FLOOD LIGHT
	EXISTING STORM CURB INLET		EXISTING TELEPHONE MANHOLE
	EXISTING SQUARE CATCH BASIN		EXISTING CABLE TV PEDESTAL
	EXISTING LIGHT POLE		EXISTING GAS VALVE
	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.		EXISTING HEDGE
	3/4" REBAR SET WEIGHING 1.50 LB/FT.		EXISTING WOODED AREA
	1-1/4" REBAR FOUND		EXISTING MARSH AREA
	3/4" REBAR FOUND		EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
	2" IRON PIPE FOUND		EXISTING CONIFEROUS TREE
	1" IRON PIPE FOUND		EXISTING SHRUB
	SECTION CORNER		EXISTING STUMP
PROPOSED SITE SYMBOLS			
	PROPOSED SIGN		PROPOSED STORM FIELD INLET - ST FI
	PROPOSED HANDICAP PARKING STALL		PROPOSED LIGHT POLE
	PROPOSED WATER VALVE IN BOX		PROPOSED DRAINAGE FLOW
	PROPOSED WATER VALVE IN MANHOLE		PROPOSED APRON END SECTION
	PROPOSED WATER SERVICE VALVE		SOIL BORING
	PROPOSED WELL		CENTER LINE
	PROPOSED STORM CATCH BASIN - ST CB		PROPOSED CLEANOUT
	PROPOSED STORM CURB INLET - ST CI		PROPOSED DOWNSPOUT TO GRADE
			PROPOSED DOWNSPOUT TO RISER
EXISTING LINETYPES			
	EXISTING CHAINLINK FENCE		EXISTING POLISH SEWER AND MANHOLE
	EXISTING WOOD FENCE		EXISTING PROCESS SEWER AND MANHOLE
	EXISTING BARBED WIRE FENCE		EXISTING CLEAR WATER LINE
	EXISTING CURB AND GUTTER		EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING GUARD RAIL		EXISTING UNDERGROUND ELECTRIC CABLE
	EXISTING GROUND CONTOUR		EXISTING UNDERGROUND TELEPHONE CABLE
	EXISTING STORM SEWER AND MANHOLE		EXISTING UNDERGROUND GAS LINE
	EXISTING SANITARY SEWER AND MANHOLE		EXISTING OVERHEAD UTILITY LINE
	EXISTING WATER LINE AND HYDRANT		RAILROAD TRACKS
	INTERIOR PROPERTY LINE		RIGHT-OF-WAY LINE
PROPOSED LINETYPES			
	PROPOSED CHAINLINK FENCE		PROPOSED POLISH SEWER AND MANHOLE
	PROPOSED WOOD FENCE		PROPOSED PROCESS SEWER AND MANHOLE
	PROPOSED BARBED WIRE FENCE		PROPOSED CLEAR WATER LINE
	PROPOSED CURB AND GUTTER		PROPOSED UNDERGROUND FIBER OPTIC LINE
	PROPOSED GUARD RAIL		PROPOSED UNDERGROUND ELECTRIC CABLE
	PROPOSED GROUND CONTOUR		PROPOSED UNDERGROUND TELEPHONE CABLE
	PROPOSED STORM SEWER AND MANHOLE - ST MH		PROPOSED UNDERGROUND GAS LINE
	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH		PROPOSED OVERHEAD UTILITY LINE
	PROPOSED WATER LINE AND HYDRANT		MATCHLINE
	PROPOSED PROPERTY LINE		GRADING/SEEDING LIMITS

PROJECT CONTACTS

OWNER INFORMATION:

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CITY PLANNER:

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Phone: (414) 228-1770
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CITY FIRE CHIEF:

Robert C. Whitaker
Phone: (414) 257-0113

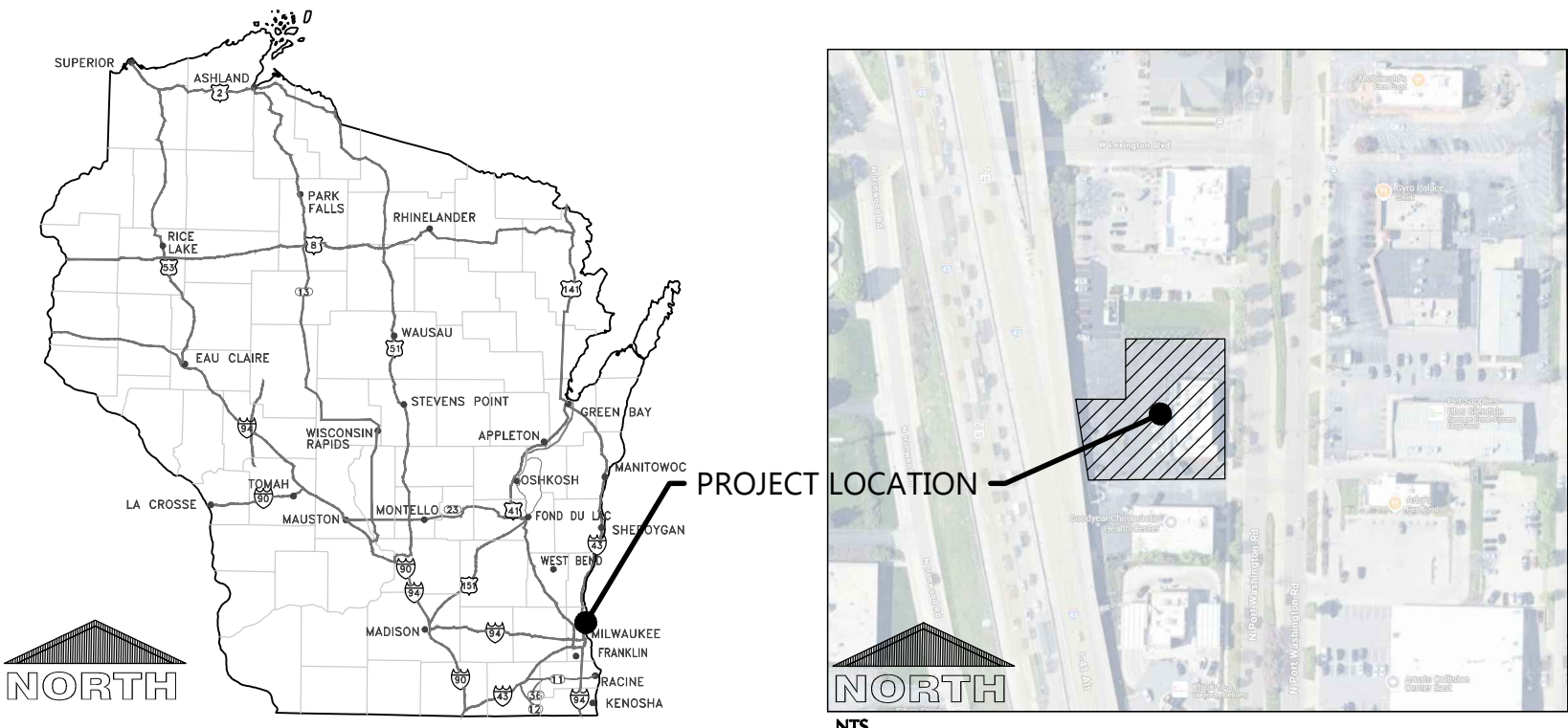
CITY BUILDING INSPECTOR:

Tod Doebler
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CITY DIRECTOR OF PUBLIC WORKS:

Charlie Imig
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E-mail: c.imig@glendalewi.gov

LOCATION MAP



PROJECT NOTES

GENERAL PROJECT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- CONTRACTOR TO COORDINATE OFFSITE WORK WITH NEIGHBORS PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN COLOR. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1A	SITE PLAN
C1.1B	STRIPING PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS



EXCEL

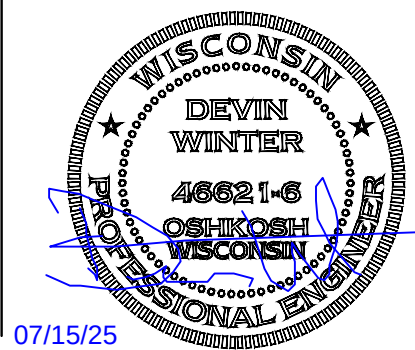
Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
MILBREW - 7 BREW
5265 N. PORT WASHINGTON RD. • GLENDALE, WI 53217

PROFESSIONAL SEAL



SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 14, 2025

JOB NUMBER

240353700

SHEET NUMBER

C0.1

CIVIL SPECIFICATIONS

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL POINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDDEM AXLE DUMP TRUCK, TO IDENTIFY SORT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
1. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE - PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
5. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
6. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 85 PERCENT.
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY GILES ENGINEERING ASSOCIATES, INC.
- H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WEDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12" MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
7. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
9. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WIDNDR TECHNICAL STANDARD 1068 (CURRENT EDITION). FILLING SHALL NOT BE PERMITTED.
- C. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
- D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.
- | | |
|---|--|
| STANDARD ASPHALT PAVING SECTION | HEAVY ASPHALT PAVING SECTION |
| 1-1/2" SURFACE COURSE (5 LT 58-285) | 1-1/2" SURFACE COURSE (5 LT 58-285) |
| (WISDOT 455.2.5 TACK COAT (STAGED PAVING) | WISDOT 455.2.5 TACK COAT (STAGED PAVING) |
| 2-1/2" BINDER COURSE (4 LT 58-285) | 2-1/2" BINDER COURSE (4 LT 58-285) |
| 8" OF 1-1/4" CRUSHED AGGREGATE | 10" OF 1-1/4" CRUSHED AGGREGATE |
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1.0% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- D. SEE SHEET C1.18 FOR STRIPING PLAN OF PAVEMENT AREAS.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- C. STORM CATCH CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
1. **SIDEWALK CONCRETE** - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIDER OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.
- E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
1. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
4. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W14 X W14 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. CONCRETE SHALL BE PROVIDED ON 6" OF 3/4" CRUSHED AGGREGATE BASE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORKS SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #6 BARS, 62 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 1064. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD. BUT LESS THAN 25 CU. YD. PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.
- M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. **TOPSOIL**: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN A LANDSCAPE ISLANDS SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- TOPSOIL INSTALLATION**: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- B. **SEEDED LAWNS**:
1. PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS./1,000 S.F.), STRAW AND MULCH SHALL BE LAID AT 100LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
2. ALL TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.0 LBS./1,000 S.F., STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- C. **SEEDED LAWN MAINTENANCE**: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- E. **TREES AND SHRUBS**: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY-LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- F. **TREE AND SHRUB INSTALLATION**: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- G. **TREE AND SHRUB MAINTENANCE/WARRANTY**: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- H. **ORGANIC MULCH**: PROVIDE 3" MINIMUM THICK BLANKET OF SHREDDED HARDWOOD MULCH AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- I. **BEVER ROCK**: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM CRUSHED DECORATIVE STONE AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- J. **PLASTIC EDGING**: INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- B. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS.
- C. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 4" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A TURN (2-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- D. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. 6" MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- E. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- F. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- G. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM PIPE SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS.
- CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- H. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC-COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.
- I. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE EXCEL ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL (IF REQUIRED). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- J. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE

Utility	Material	Pipe Code	Fitting Code	Joint Code
Water Lateral	C901/906 PE	AWWA C901/C906	ASTM D2609, ASTM D2683, ASTM D3261	Heat Fusion: ASTM D2657
Sanitary Sewer	SCH.40 PVC	ASTM D1785, ASTM D2665, ASTM F891	ASTM F1336	Primer: ASTM F656 Solvent Cement: ASTM D2564
Sanitary Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Gasket: ASTM F477
Storm Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Seal: ASTM F477

SHOP DRAWING SUBMITTALS

MATERIAL / INFORMATION

- 32.10.00 (A) - AGGREGATE BASE & ASPHALT PAVEMENT
 - HOT MIX ASPHALT SPECIFICATIONS
 - AGGREGATE BASE
- 32.20.00-CONCRETE AND AGGREGATE BASE
 - DESIGN MIX
 - AGGREGATE BASE
- 33.10.00-- SITE UTILITIES
 - STORM MANHOLES
 - SANITARY PIPING MATERIALS
 - GREASE INTERCEPTOR SHOP DRAWINGS
 - WATER PIPING MATERIALS
 - WATER FITTINGS & APPURTENANCES
 - STORM PIPING MATERIALS



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PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:

MILBREW - 7 BREW

5265 N. PORT WASHINGTON RD. • GLENDALE, WI 53217

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 14, 2025

JOB NUMBER

240353700

SHEET NUMBER

C0.2

CONSTRUCTION SEQUENCE

ESTIMATED START: SEPT 2025
ESTIMATED END: DEC 2025

PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGER'S HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES. 3. PLACE ALL SILT FENCE AND INLET PROTECTION. 4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED. 5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. 6. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. 7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. LOCATION BY OWNER. FINAL LOCATION BY CONTRACTOR. PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE



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C1.0

LEGEND:

SAWCUT & REMOVE FEATURES
UNLESS OTHERWISE NOTED

NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. NCS-1242639-MKE, BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED NOVEMBER 25, 2024. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20250207593 AND NO. 20250207595 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS PLAN IS IN NO WAY A SUBSTITUTE FOR UTILITY LOCATING AT THE TIME OF EXCAVATION.

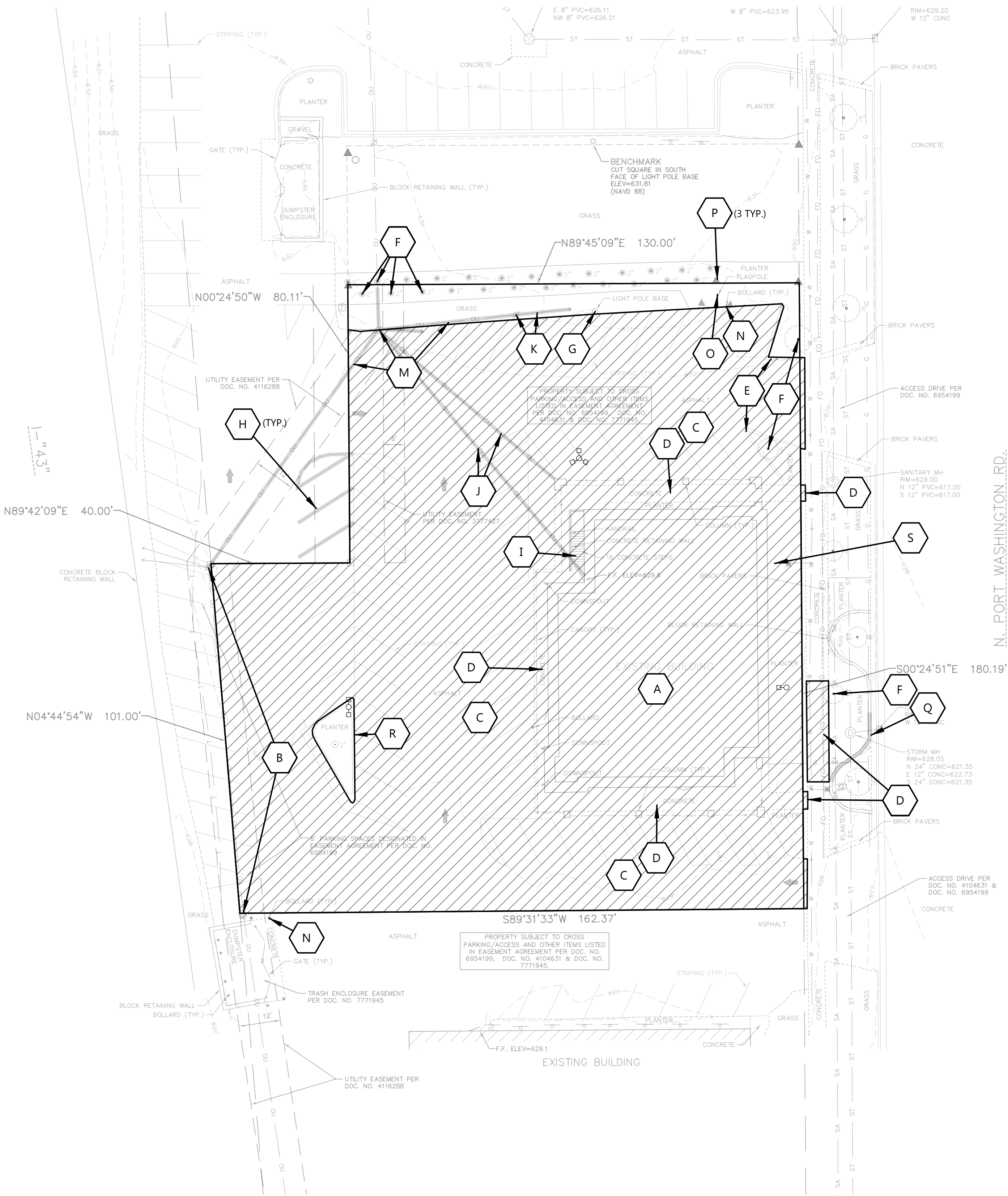
NOTE:
FIELDWORK WAS COMPLETED ON JANUARY 15, 2025.

GENERAL NOTES:

- REFERENCE PHASE 2 REPORT COMPLETED BY GILES. FOLLOW DIRECTIONS TO PROTECT EXISTING CONTAMINATION SIZE.
- CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY LATERAL LOCATION AND ADVISE ENGINEER FOR CONNECTION. IF UNABLE TO LOCATE, PROVIDE NEW CONNECTION TO MAIN.

KEYNOTES

A	REMOVE BUILDING AND DISCONNECT ASSOCIATED UTILITY SERVICES
B	CAUTION!! EXISTING OVERHEAD UTILITY LINE
C	SAWCUT (AS NECESSARY) AND REMOVE ASPHALT
D	SAWCUT (AS NECESSARY) AND REMOVE CONCRETE
E	SAWCUT AND REMOVE CURB
F	REMOVE TREE
G	REMOVE LIGHT POLE BASE
H	REMOVE STRIPING
I	REMOVE CONCRETE RETAINING WALL, CONCRETE STEPS, AND HANDRAIL
J	DISCONNECT OVERHEAD UTILITY LINE
K	PROPOSED REMOVAL OF UTILITY POLE AND GUY WIRE. PENDING APPLICATION W/ LOCAL UTILITY COMPANY.
M	PROPOSED REMOVAL AND RELOCATION OF UTILITY POLE, GUY WIRE, & OVERHEAD LINE. PENDING APPLICATION W/ LOCAL UTILITY COMPANY. SEE C1.3 FOR RELOCATED UTILITY POLE, GUY WIRE, & OVERHEAD LINE.
N	REMOVE BOLLARD
Q	REMOVE FLAG POLE
R	REMOVE GROUND LIGHTS
Q	REPLACE BRICK RETAINING WALL AND DEAD PLANTS (AS NECESSARY) FOR UTILITY INSTALLATIONS
R	PROTECT CURB
S	PROTECT WATER SERVICE FOR RECONNECTION/REROUTE. FIELD VERIFY SIZE, LOCATION, ETC PRIOR TO CONSTRUCTION. NOTIFY ENGINEER.



SCALE: 1" = 20'



CIVIL EXISTING SITE AND DEMOLITION PLAN



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C1.1A

GENERAL NOTES:

- SEE SHEET C0.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS.

LEGEND:

HATCH	PAVEMENT SECTION
	STANDARD ASPHALT
	SIDEWALK CONCRETE
	STAMPED CONCRETE (TO MATCH EXISTING)

SITE INFORMATION:

PROPERTY AREA: 27,100 S.F. (0.62 ACRES).
EXISTING ZONING: B-1 "B"
PROPOSED ZONING: B-1 "B"
PROPOSED USE: COFFEE SHOP W/ DRIVE THRU
AREA OF SITE DISTURBANCE: ± 27,400 S.F. (0.63 ACRES)
SETBACKS:
BUILDING: FRONT(NORTH) = NONE
SIDE(EAST/ WEST) = NONE
REAR(SOUTH) = NONE
PAVEMENT: FRONT(NORTH) = NONE
SIDE(EAST/ WEST) = NONE
REAR(SOUTH) = NONE
PROPOSED BUILDING HEIGHT: 19'-10"
PARKING REQUIRED: 1 SPACE PER 50 S.F. (11 SPACES REQ.)
PARKING PROVIDED: 12 SPACES (1 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
EXISTING SOIL: SANDY CLAY

EXISTING SITE DATA

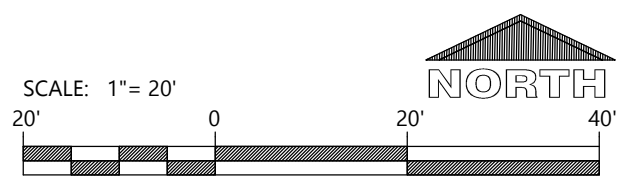
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.11	4,810	17.7%
PAVEMENT (ASP. & CONC.)	0.46	19,982	73.7%
TOTAL IMPERVIOUS	0.57	24,792	91.5%
LANDSCAPE/ OPEN SPACE	0.05	2,308	8.5%
PROJECT SITE	0.62	27,100	100.0%

PROPOSED SITE DATA

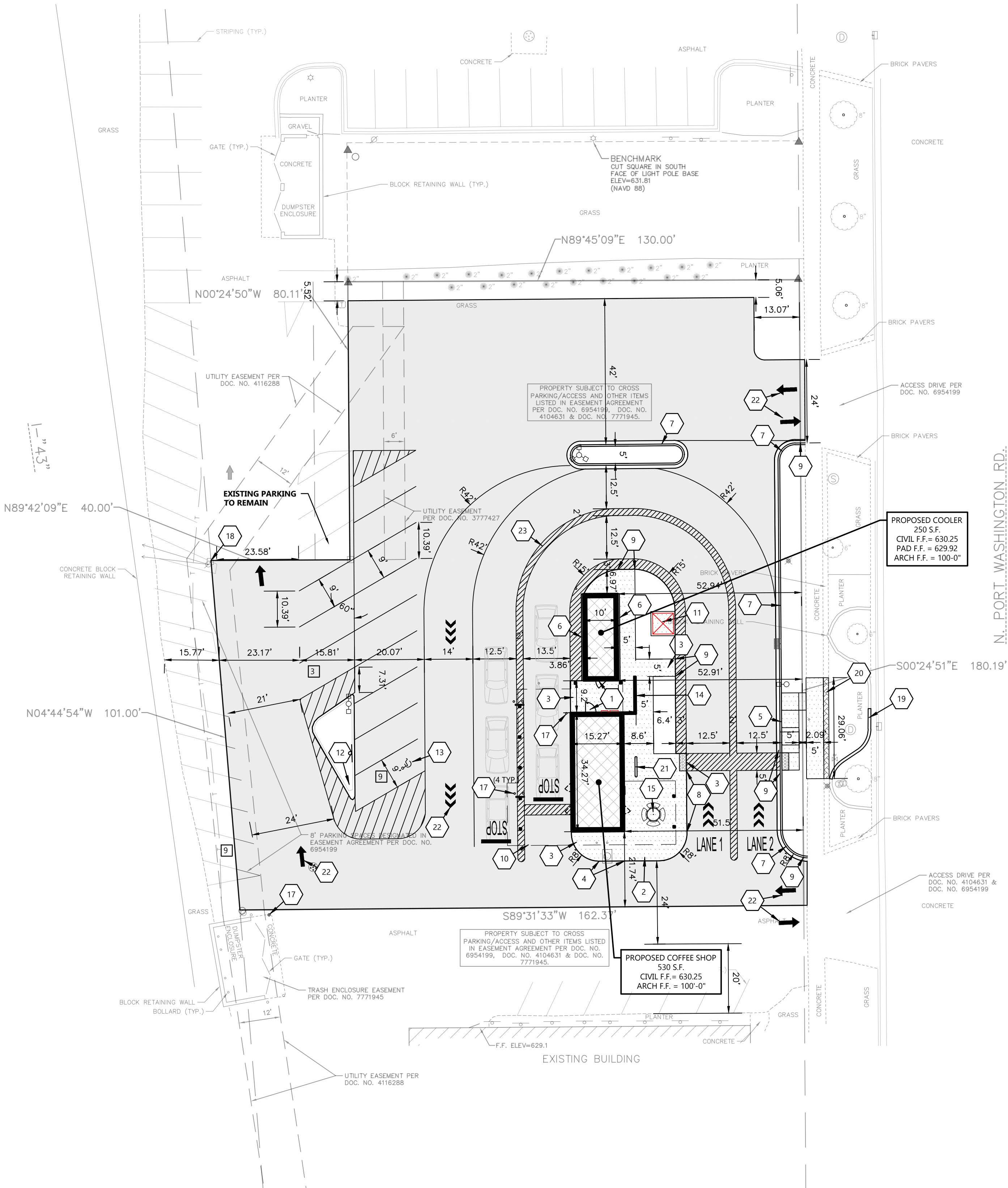
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.01	530	2.0%
PAVEMENT (ASP. & CONC.)	0.56	24,241	89.5%
TOTAL IMPERVIOUS	0.57	24,771	91.4%
LANDSCAPE/ OPEN SPACE	0.05	2,329	8.6%
PROJECT SITE	0.62	27,100	100.0%

KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
3	FLUSH WALK (SEE DETAIL)
4	TAPER ASPHALT 0" TO 6" IN 8"
5	EXPOSED CURB (SEE DETAIL)
6	6" CURB HEAD (SEE DETAIL)
7	18" CURB & GUTTER (SEE DETAIL)
8	TAPER ASPHALT 0" TO 6" IN 18"
9	CURB TAPER (SEE DETAIL)
10	BUILDING CANOPY (SEE ARCH PLANS FOR DETAILS)
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
14	SCREENING WALL. SEE ARCH PLANS FOR DETAILS.
15	PICNIC TABLE (DETAILS BY SUPPLIER)
17	6" CONCRETE BOLLARDS (TYP.) (SEE DETAIL)
18	ONE WAY SIGN PER MUTCD
19	BRICK RETAINING WALL - TO MATCH EXISTING
20	REPLACE CONCRETE WALK AND STAMPED CONCRETE PER CITY STANDARDS - TO MATCH EXISTING SECTION THICKNESS AND MATERIALS
21	BIKE RACK (TYP.) (TYPE & COLOR BY OWNER)
22	TRAFFIC FLOW ARROWS (TYP) (SEE STRIPING PLAN)
23	PAINT STRIPING (TYP) (SEE STRIPING PLAN)



CIVIL SITE PLAN





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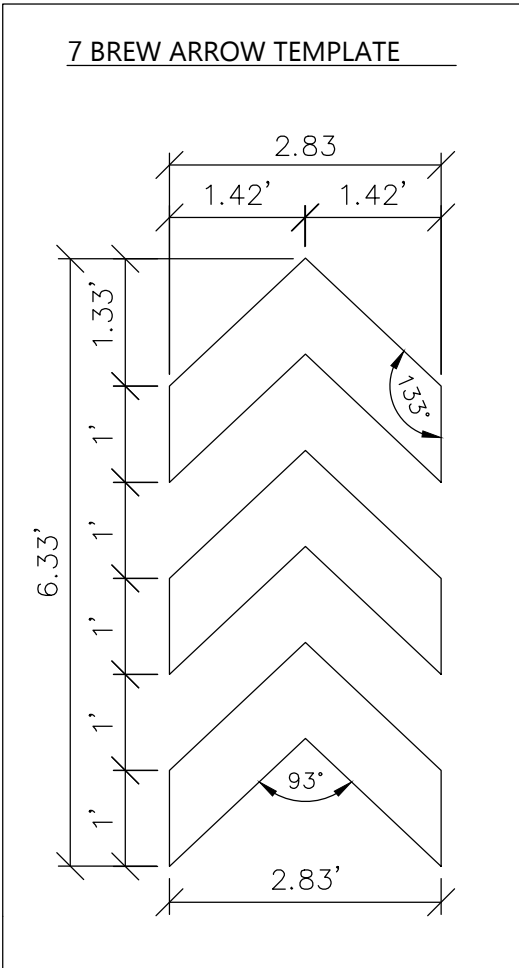
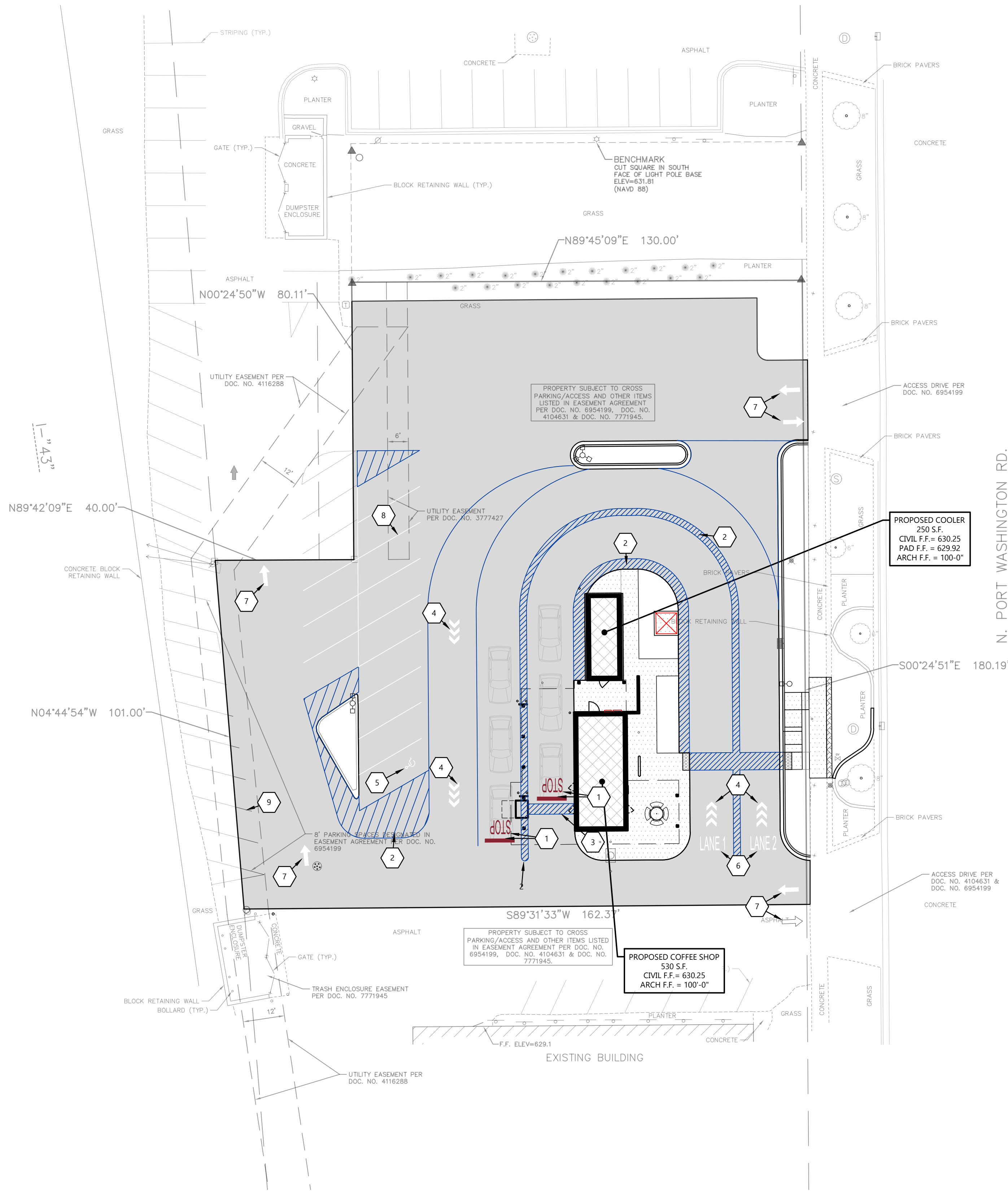
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SHEET NUMBER

C1.1B



STRIPING PAINT COLORS:

SUBSTITUTION TO COLORS MUST BE APPROVED BY 7 BREW

PMS 000C
C: 0%
M: 0%
Y: 0%
K: 0%
R: 255
G: 255
B: 255

HEX: FFFFFF

PMS 293
C: 100%
M: 63%
Y: 0%
K: 35%
R: 0
G: 61
B: 165

HEX: 003DA5

PMS 202
C: 29.54%
M: 95.11%
Y: 74.72%
K: 29.59%
R: 138
G: 36
B: 50

HEX: 8A2432

PAINT TYPE:

SHERWIN- WILLIAMS PRO PARK, SETFAST, HOTLINE OR AN APPROVED EQUAL.

STRIPING PLAN KEYNOTES

1	12" TALL RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED
2	4" SOLID BLUE PAVEMENT MARKER, TYPICAL MIDLINES SPACED AT 24" O.C.
3	ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING
4	SOLID WHITE TRIPLE ARROW PAVEMENT MARKER
5	WHITE PAINTED ADA ACCESSIBLE PARKING SYMBOL
6	48-INCH TALL "LANE #" PAINTED IN WHITE
7	SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING
8	4" SOLID WHITE PAVEMENT MARKER, TYPICAL
9	4" SOLID YELLOW PAVEMENT MARKER (TO MATCH EXISTING), TYPICAL



CIVIL STRIPING PLAN

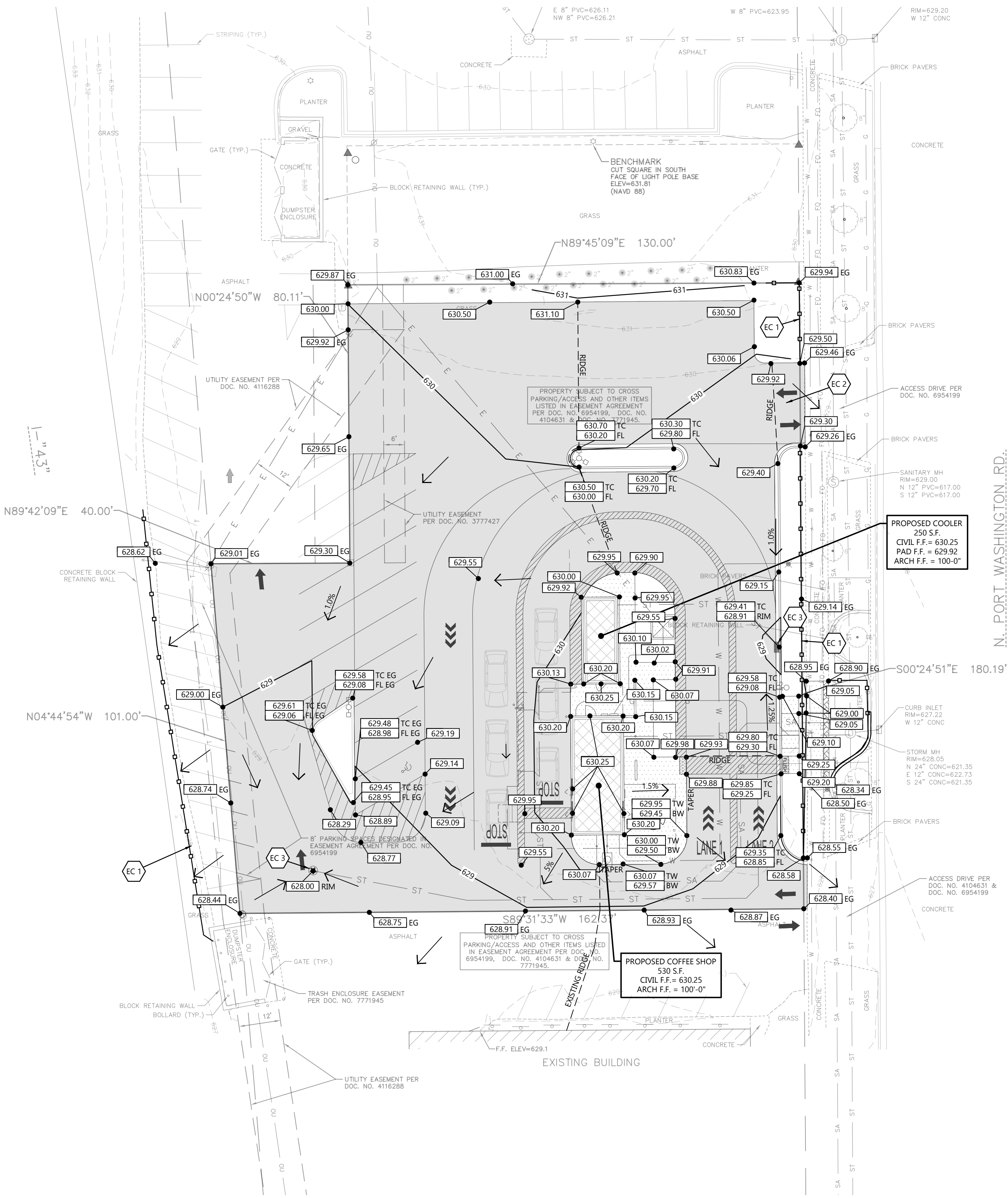
KEYNOTES	
EC 1	SILT FENCE
EC 2	STABILIZED CONSTRUCTION ENTRANCE
EC 3	INLET PROTECTION

GENERAL NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
- CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ON-SITE & OFF-SITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

CITY EROSION CONTROL NOTES:

- NOTIFY THE CITY EROSION CONTROL INSPECTOR/AUTHORIZED REPRESENTATIVE WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING CONSTRUCTION ACTIVITY.
- NOTIFY THE CITY EROSION CONTROL INSPECTOR/AUTHORIZED REPRESENTATIVE OF COMPLETION OF ANY BMPs WITHIN 14 DAYS AFTER THEIR INSTALLATION.
- OBTAIN PERMISSION IN WRITING FROM THE CITY EROSION CONTROL INSPECTOR/AUTHORIZED REPRESENTATIVE PRIOR TO ANY MODIFICATION OF THE EROSION AND SEDIMENT CONTROL PLAN.
- INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- MAINTAIN ALL ROAD DRAINAGE SYSTEMS, STORM WATER DRAINAGE SYSTEMS, BMPs, AND OTHER FACILITIES IDENTIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN.
- FILL SHALL BE PLACED, AND MATERIALS EXCAVATED ONLY WHERE AND AS APPROVED BY THE CITY EROSION CONTROL INSPECTOR/AUTHORIZED REPRESENTATIVE.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DISTURBING CONSTRUCTION ACTIVITIES AND DOCUMENT REPAIRS IN A SITE INSPECTION LOG.
- APPLICANT MUST INSPECT THE EROSION CONTROL MEASURES WITHIN 24 HOURS AFTER EACH RAIN EVENT OF 0.5 INCHES OR MORE THAT RESULTS IN RUNOFF DURING ACTIVE CONSTRUCTION PERIODS AND AT LEAST ONCE EACH WEEK. MAKE NEEDED REPAIRS AND INSTALL ADDITIONAL BMPs AS NECESSARY AND DOCUMENT THESE ACTIVITIES ON WISCONSIN DNR FORM 3400-187 THAT ALSO INCLUDES THE DATE OF INSPECTION, THE NAME OF THE PERSON CONDUCTING THE INSPECTION, AND A DESCRIPTION OF THE PRESENT PHASE OF THE CONSTRUCTION AT THE SITE.
- APPLICANT SHALL PROVIDE ALL INSPECTION REPORTS TO THE CITY EROSION CONTROL INSPECTOR AND/OR THEIR AUTHORIZED REPRESENTATIVE WEEKLY OR AFTER QUALIFYING RAIN EVENTS.
- ALLOW THE CITY EROSION CONTROL INSPECTOR OR AUTHORIZED REPRESENTATIVE TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
- POST A COPY OF THE EROSION AND SEDIMENT CONTROL PERMIT AND PLAN AT THE CONSTRUCTION SITE.
- A MINIMUM OF 70% VEGETATIVE COVERAGE OR PERMANENT METHODS IN PLACE PRIOR TO REMOVAL OF BMPs.
- PRODUCTS FOR EROSION AND SEDIMENT CONTROL MUST MEET WISDOT TECHNICAL STANDARDS FOR APPROVED MATERIALS. FOR MORE INFORMATION VISIT [HTTP://WISCONSINDOT.GOV/PAGES/DOING-BUSINESS-END-CONSULTANTS/CNslt-RSRCs/TOOLS/PAL/DEFAULT.ASPX](http://wisconsindot.gov/pages/doing-business/end-consultants/cnslt-rsrcs/tools/pal/default.aspx)
- PROPER SEQUENCING OF EROSION CONTROL AND STORMWATER MANAGEMENT METHODS MUST BE FOLLOWED THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH PRESCRIBED BEST MANAGEMENT PRACTICES.
- EVERY GROUND DISTURBING PROJECT MUST HAVE A SITE-SPECIFIC EROSION CONTROL AND STORMWATER MANAGEMENT PLAN WHICH UTILIZES BEST MANAGEMENT PRACTICES TO AVOID OR MINIMIZE SOIL, SEDIMENT, AND POLLUTANTS FROM BEING CARRIED OFF-SITE AND AFTER CONSTRUCTION ACTIVITY IN ACCORDANCE WITH STATE OF WISCONSIN STATUTES, SECTION NR 216 AND NR 151 WIS. ADM. CODE.



CIVIL GRADING AND EROSION CONTROL PLAN

EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
MILBREW - 7 BREW
5265 N. PORT WASHINGTON RD. • GLENDALE, WI 53217

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 14, 2025

JOB NUMBER

240353700

SHEET NUMBER

C1.2

GENERAL NOTES:

- SEE SHEET C0.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS.



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
MILBREW - 7 BREW
5265 N. PORT WASHINGTON RD. • GLENDALE, WI 53217

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

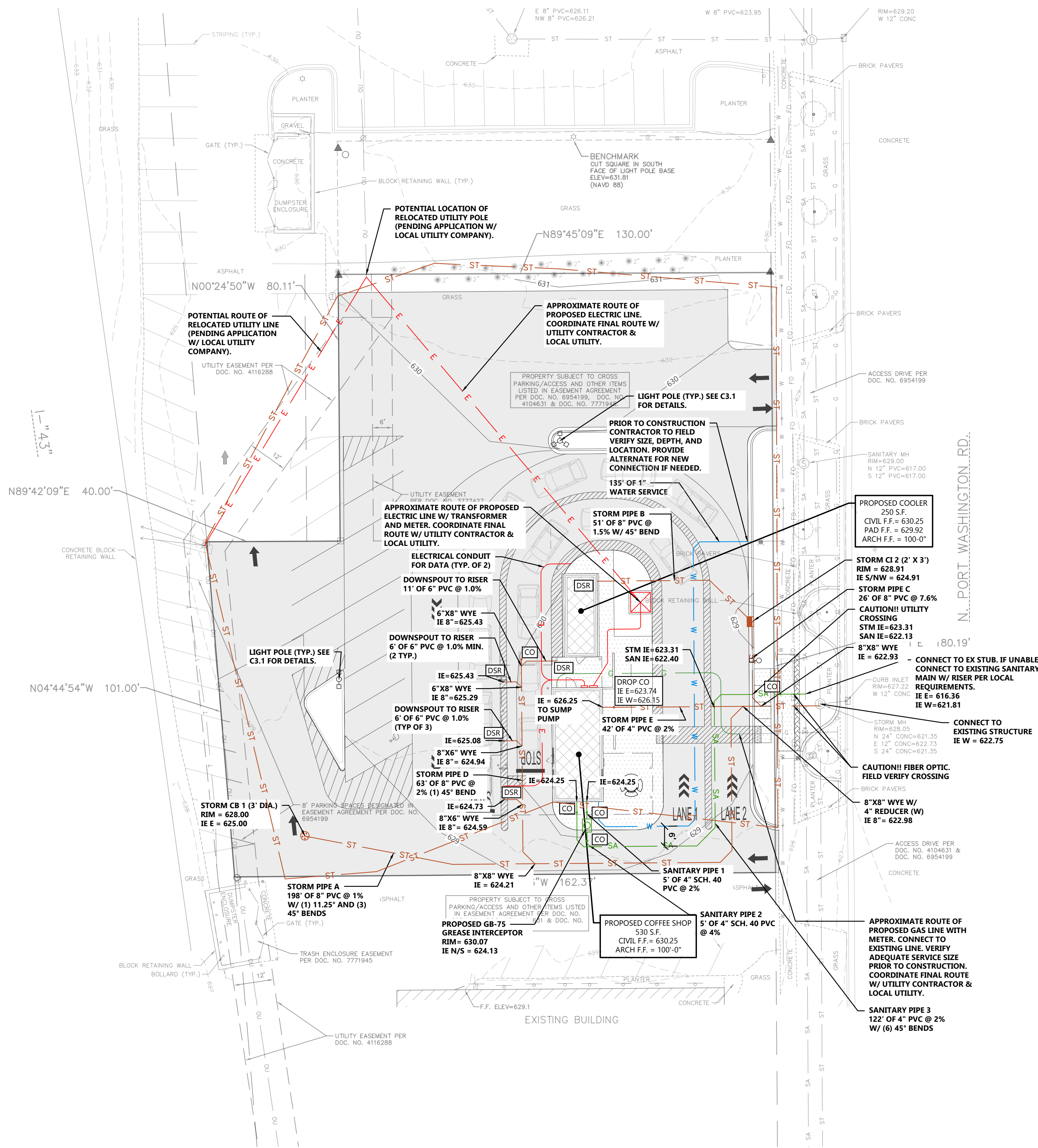
IFA JULY 14, 2025

JOB NUMBER

240353700

SHEET NUMBER

C1.3



CIVIL UTILITY PLAN



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
MILBREW - 7 BREW
5265 N. PORT WASHINGTON RD. • GLENDALE, WI 53217

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 14, 2025

JOB NUMBER

240353700

SHEET NUMBER

C1.4

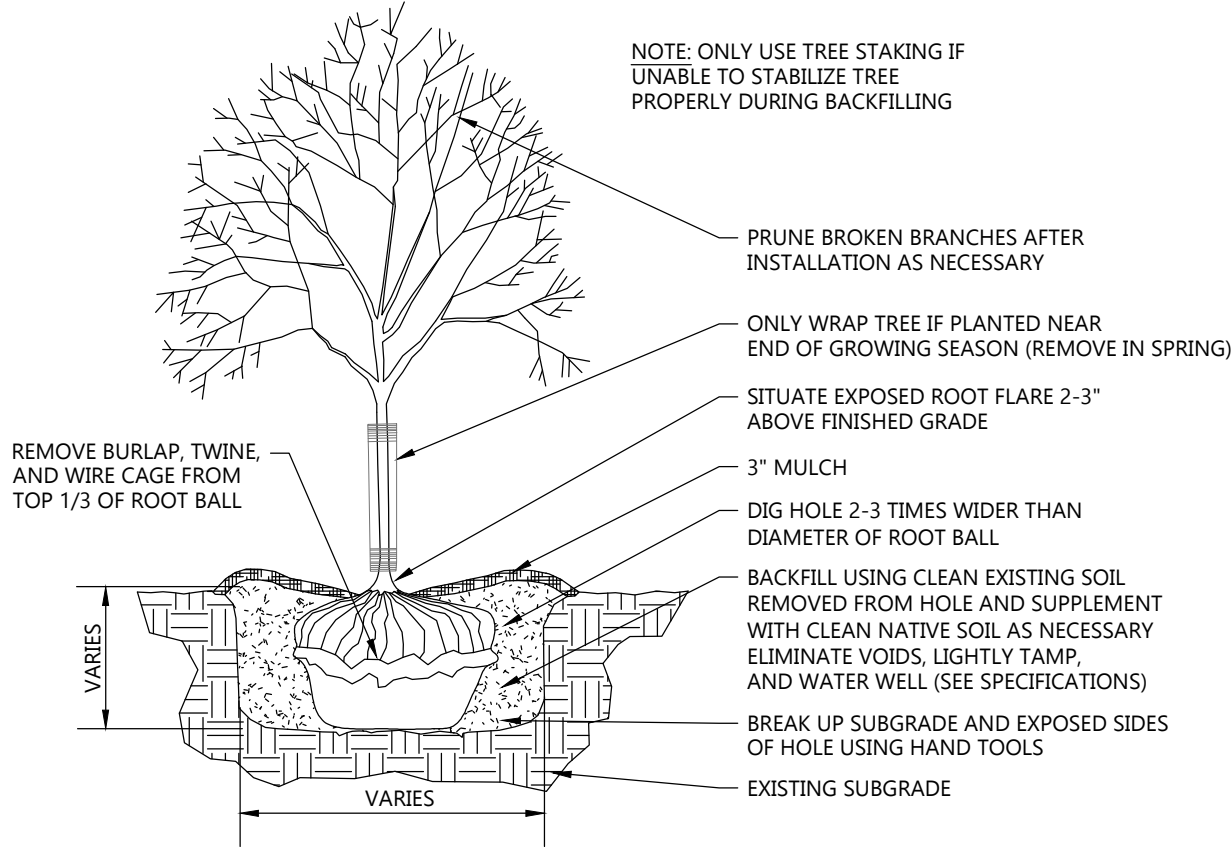
PLANT SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	PLANTED SIZE	ROOT
DECIDUOUS TREES					
	Oak (To Match Nearby Existing Trees)	Quercus spp.	1	2 1/2" CAL.	CONT.
EVERGREEN TREES					
	Emerald Arborvitae	Thuja occidentalis 'Smaragd'	5	6' HT.	CONT.
	Iowa Juniper	Juniperus chinensis 'Iowa'	18	6' HT.	CONT.
DECIDUOUS SHRUBS					
	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	5	18" HT.	CONT.
	Gold Mound Spirea	Spiraea japonica 'Gold Mound'	21	18" HT.	CONT.
EVERGREEN SHRUBS					
	Kallay's Compact Pfitzer Juniper	Juniperus chinensis 'Kallay's Compact'	5	18" HT.	CONT.
	Everlow Yew	Taxus x media 'Everlow'	6	18" HT.	CONT.
PERENNIALS					
	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	5	1 GAL.	POT

HATCH KEY:

HATCH	LANDSCAPE MATERIAL
	RIVER ROCK
	ORGANIC MULCH

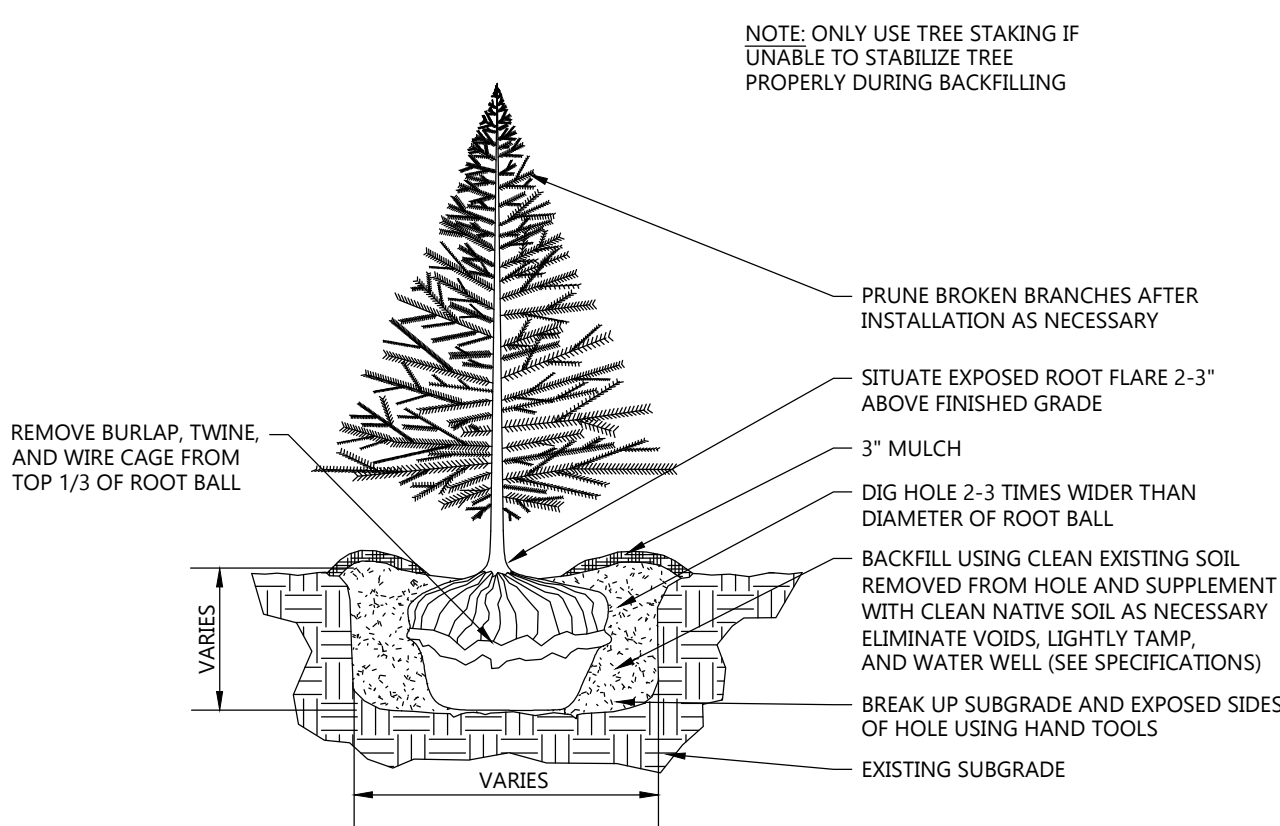
GENERAL NOTES:

- MULCH NEWLY DEVELOPED AREAS ALONG WITH EXISTING AREAS AS NEEDED. WHEN MULCHING EXISTING AREAS THAT ALREADY CONTAIN MULCH, MATCH TO EXISTING.
- PLANTS IN RIGHT OF WAY TO BE LOCATED IN FIELD TO ENSURE CORRECT PLACEMENT. PROPOSED SHRUBS IN RIGHT OF WAY MAY BE SUBSTITUTED TO MATCH EXISTING SURROUNDING VEGETATION.



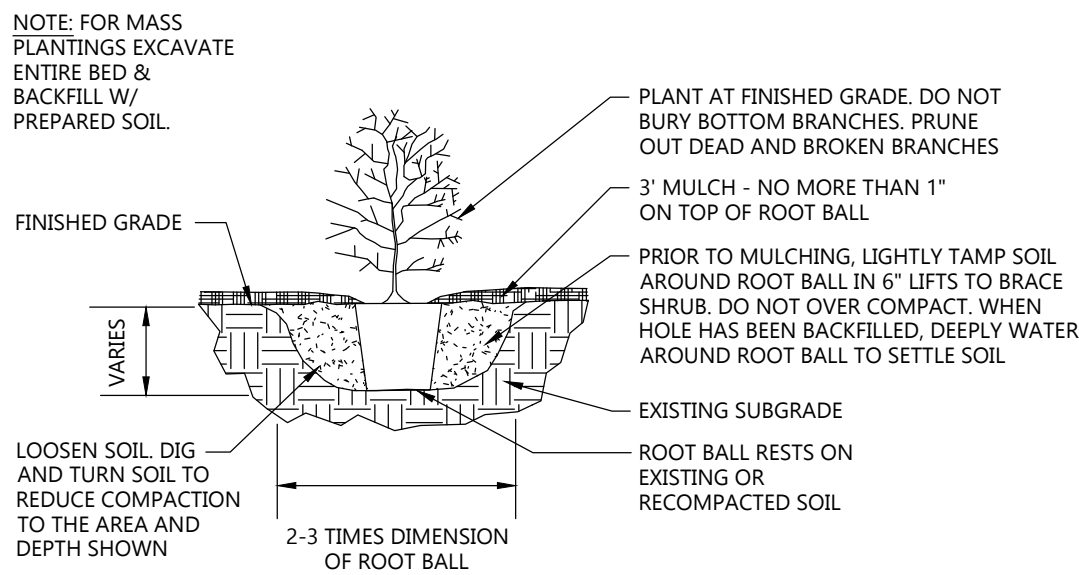
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



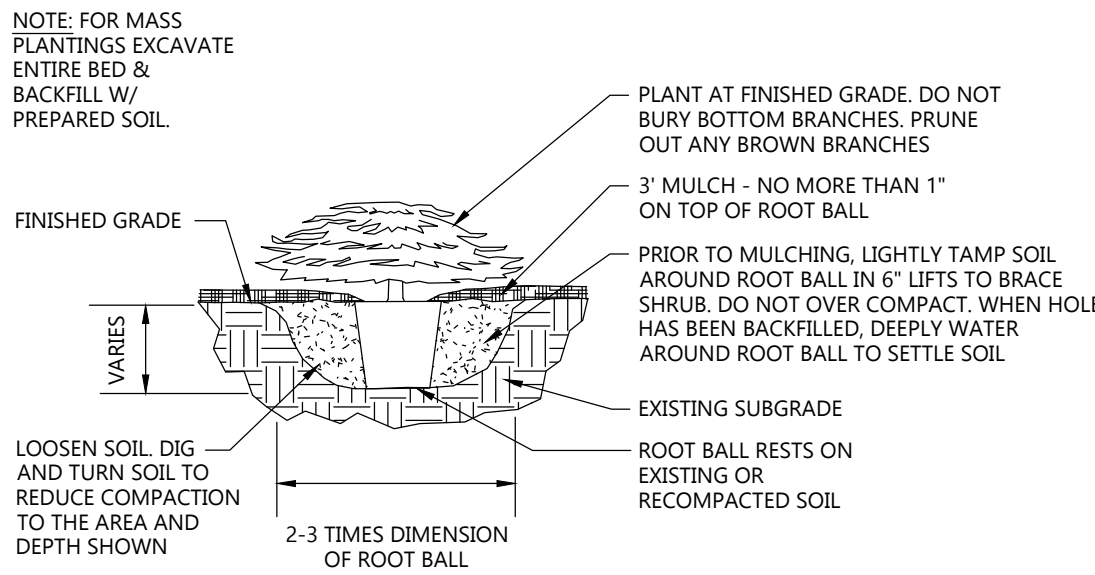
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



DECIDUOUS SHRUB PLANTING DETAIL

NOT TO SCALE



EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
MILBREW - 7 BREW
5265 N. PORT WASHINGTON RD. • GLENDALE, WI 53217

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 14, 2025

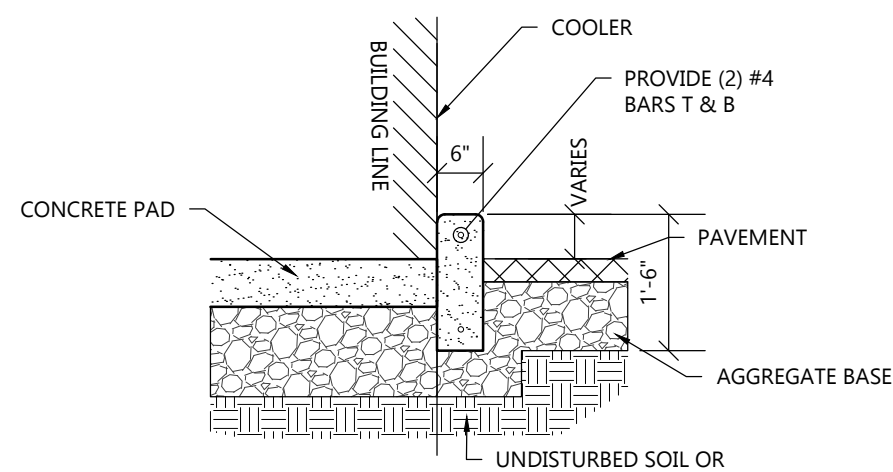
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240353700

SHEET NUMBER

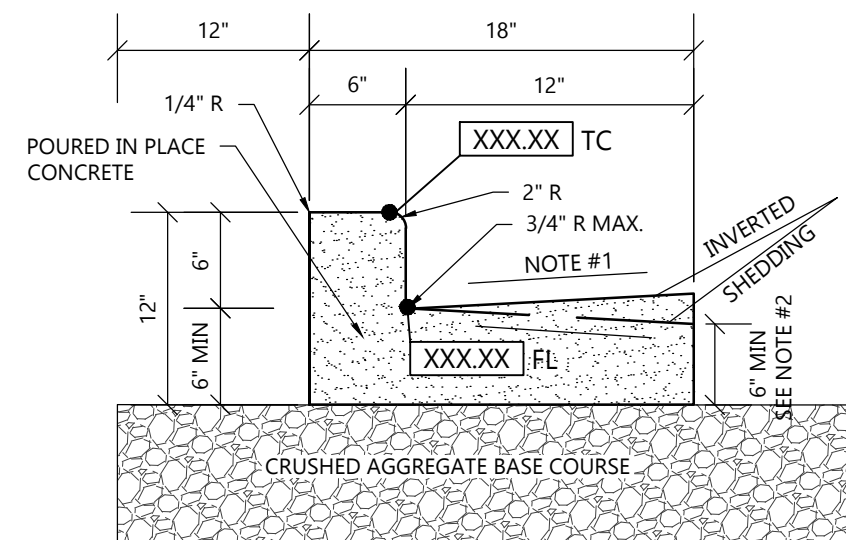
C2.0

CIVIL DETAILS



6" CURB HEAD DETAIL

NOT TO SCALE

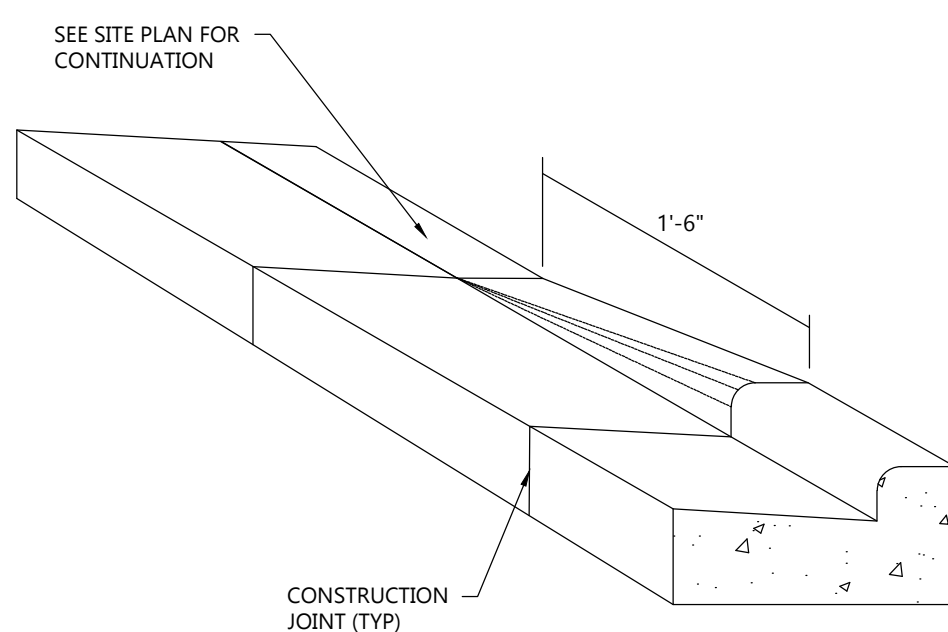


NOTE:

1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
2. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

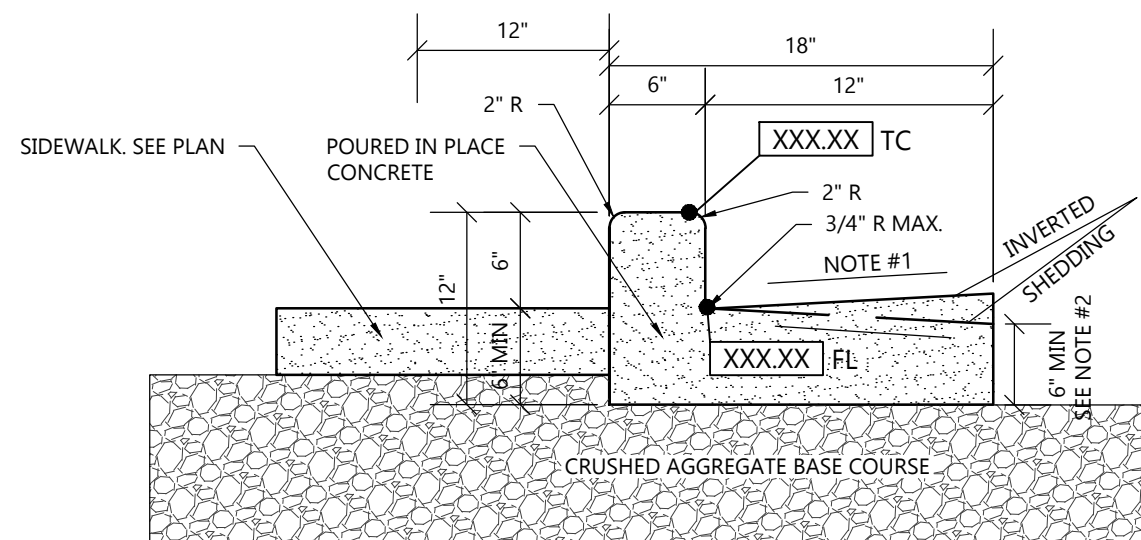
18" CONCRETE CURB & GUTTER DETAIL

NOT TO SCALE



CURB TAPER DETAIL

NOT TO SCALE

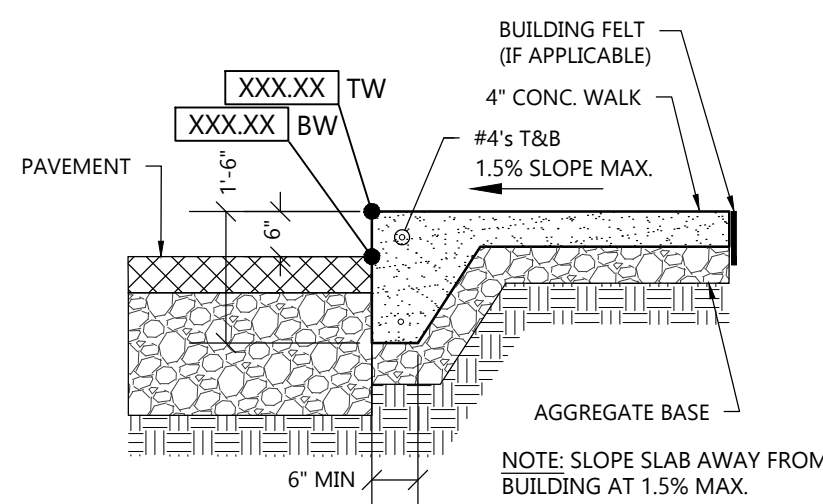


NOTE:

1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
2. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

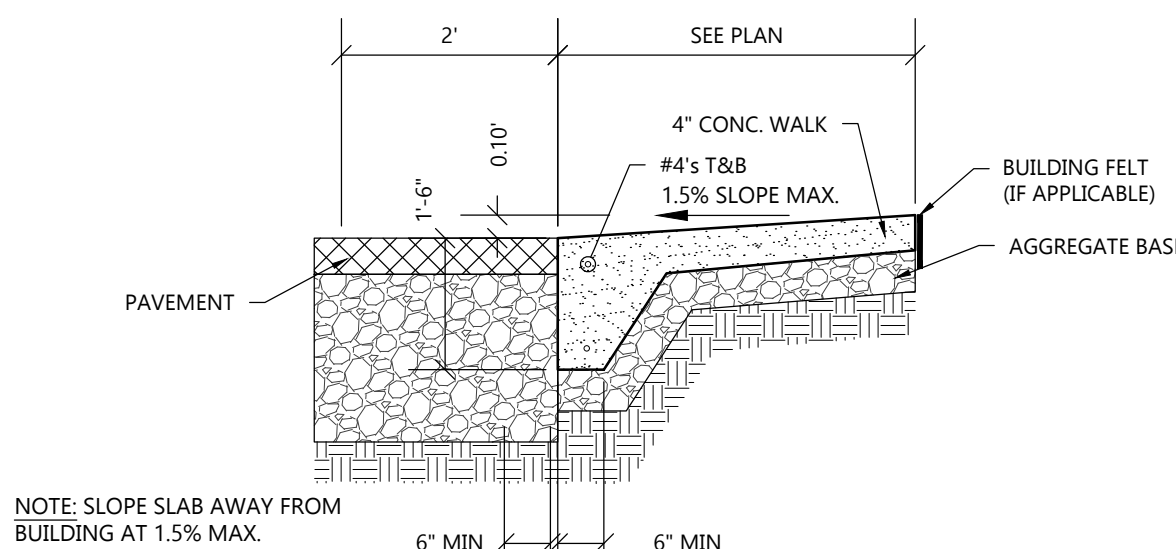
EXPOSED CURB DETAIL

NOT TO SCALE



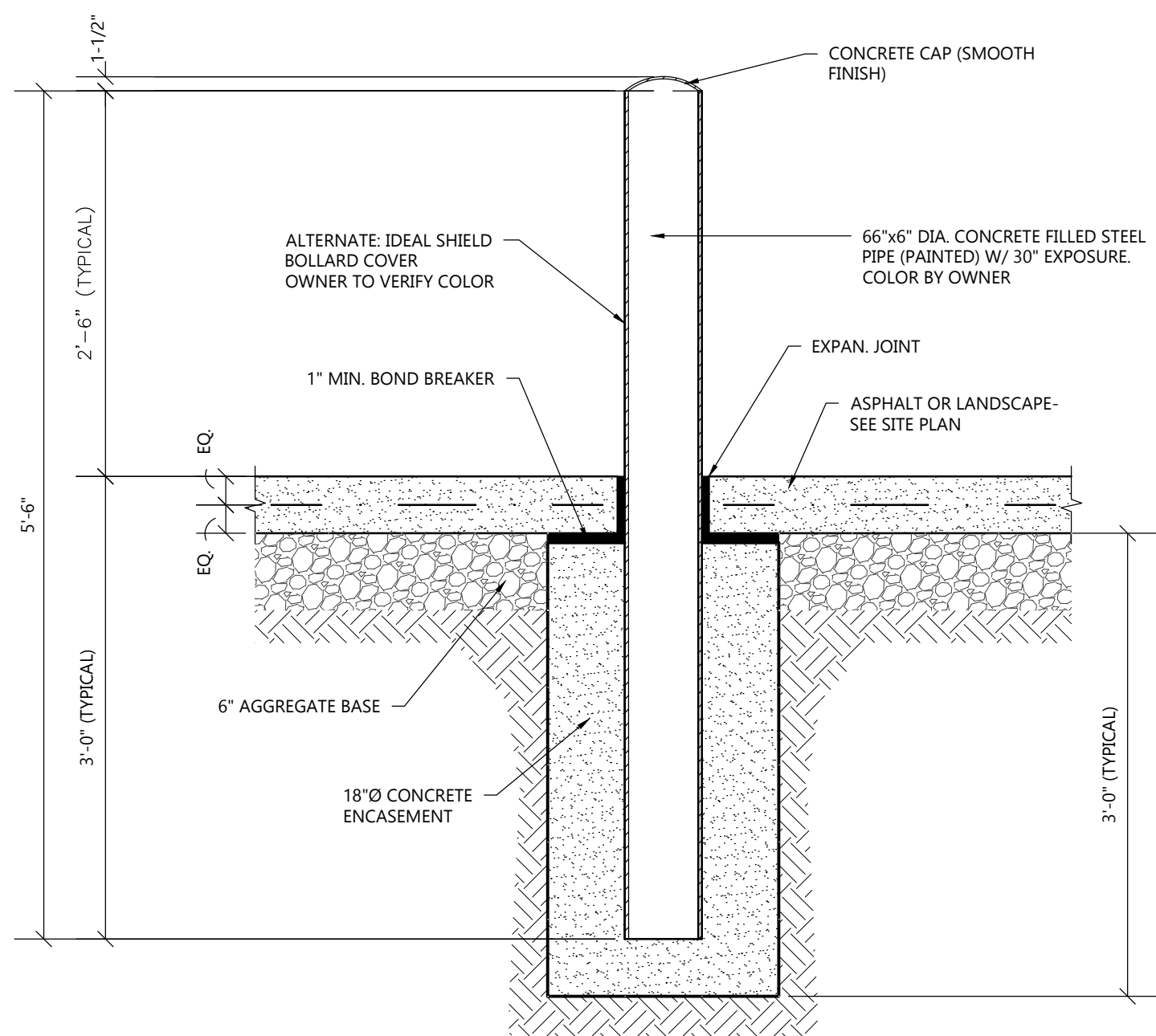
RAISED WALK DETAIL

NOT TO SCALE



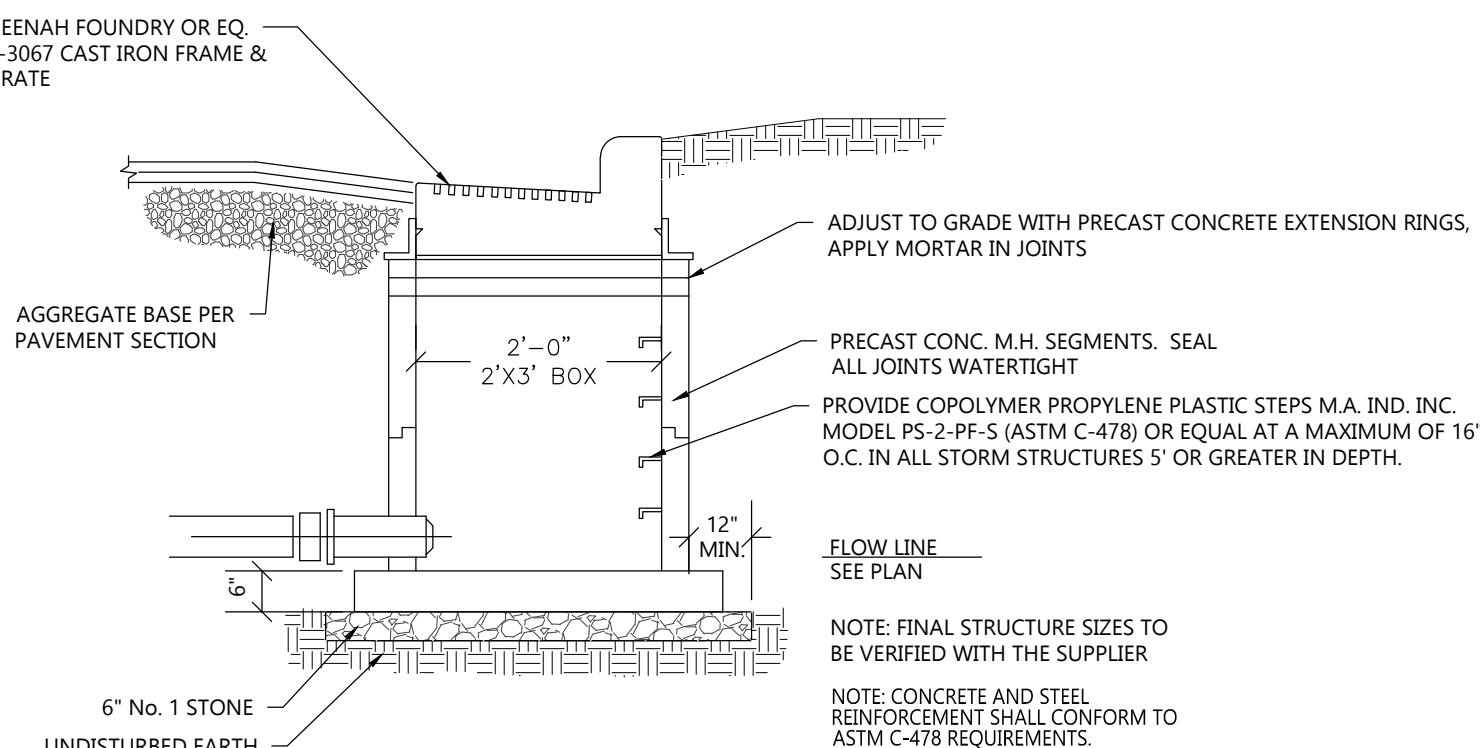
FLUSH WALK DETAIL

NOT TO SCALE



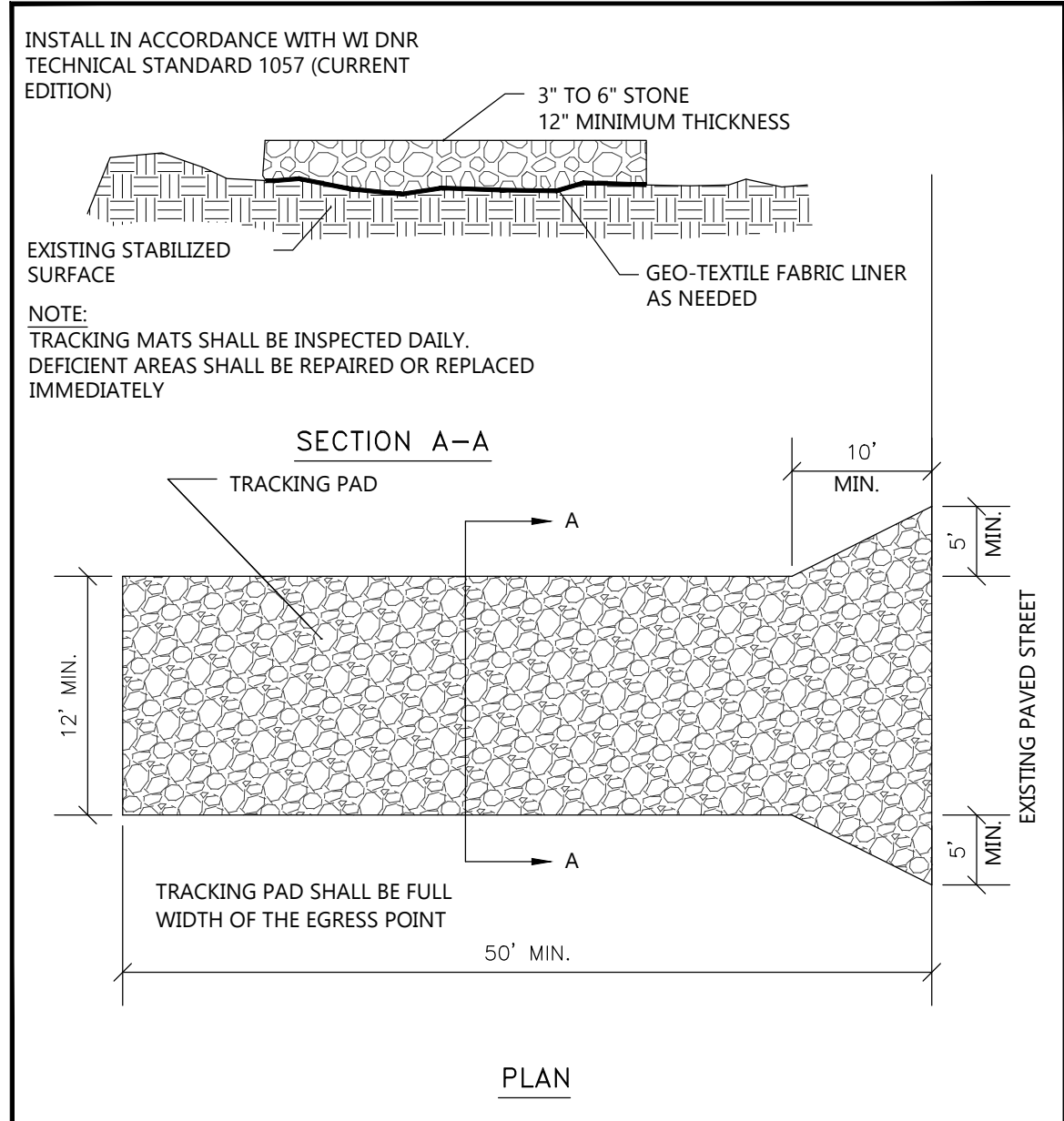
6" PIPE BOLLARD DETAIL

NOT TO SCALE



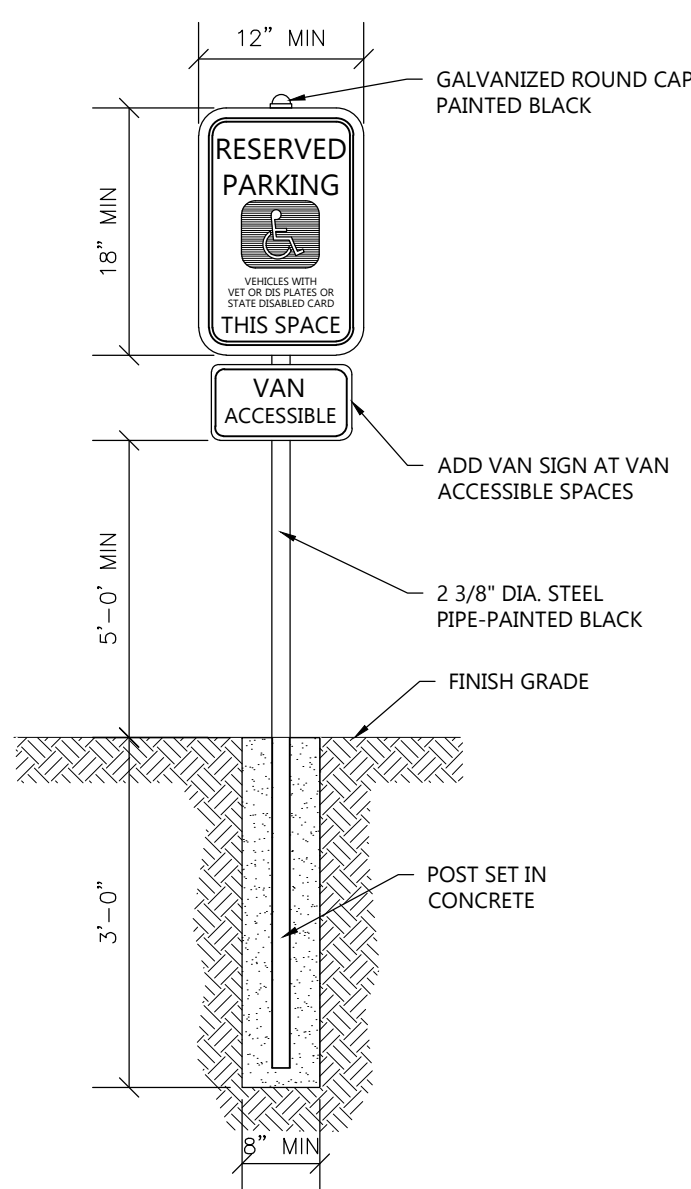
STORM CURB INLET DETAIL

NOT TO SCALE



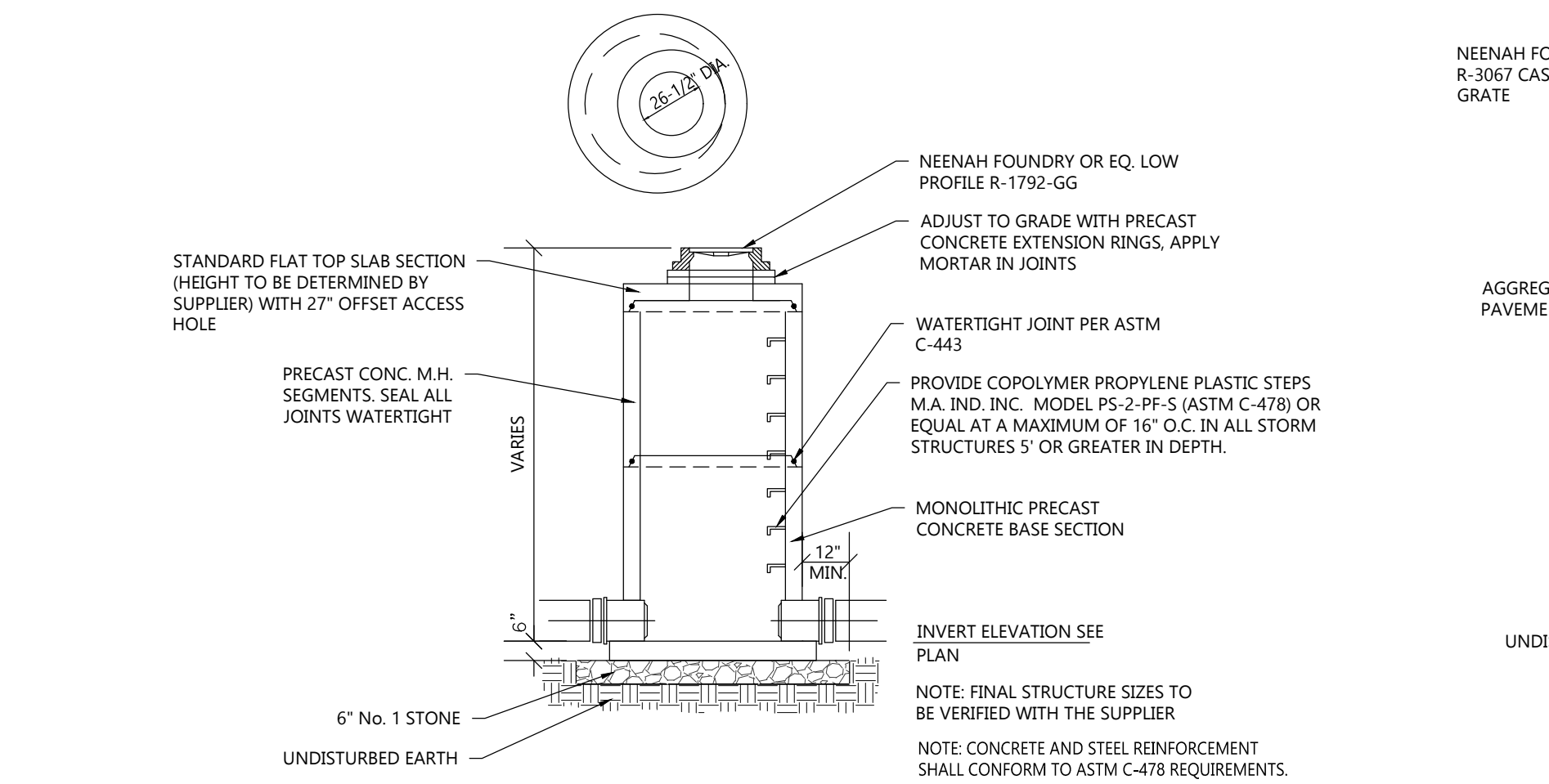
TRACKPAD DETAILS

NOT TO SCALE



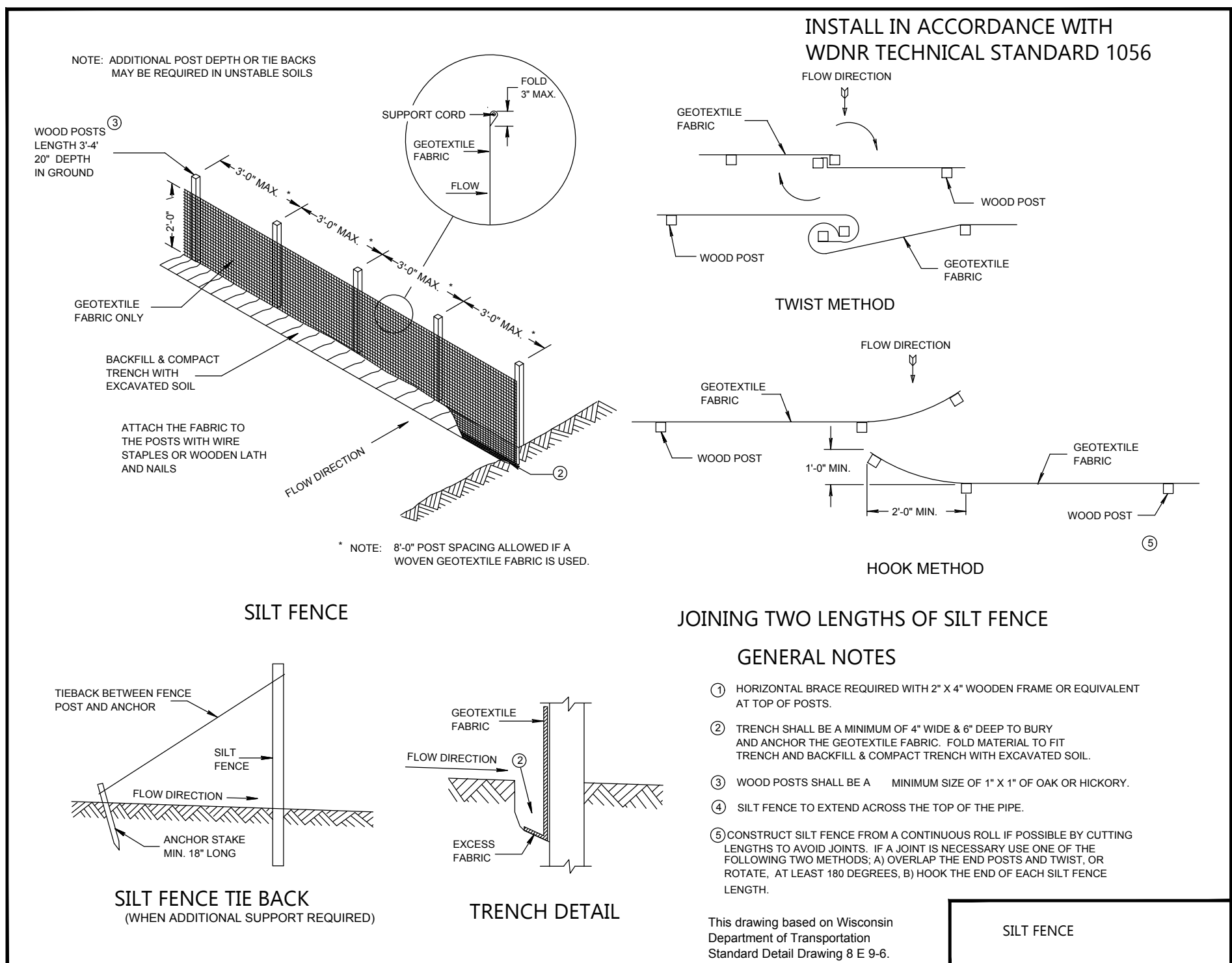
HANDICAP SIGNAGE WITH CONCRETE BASE DETAIL

NOT TO SCALE



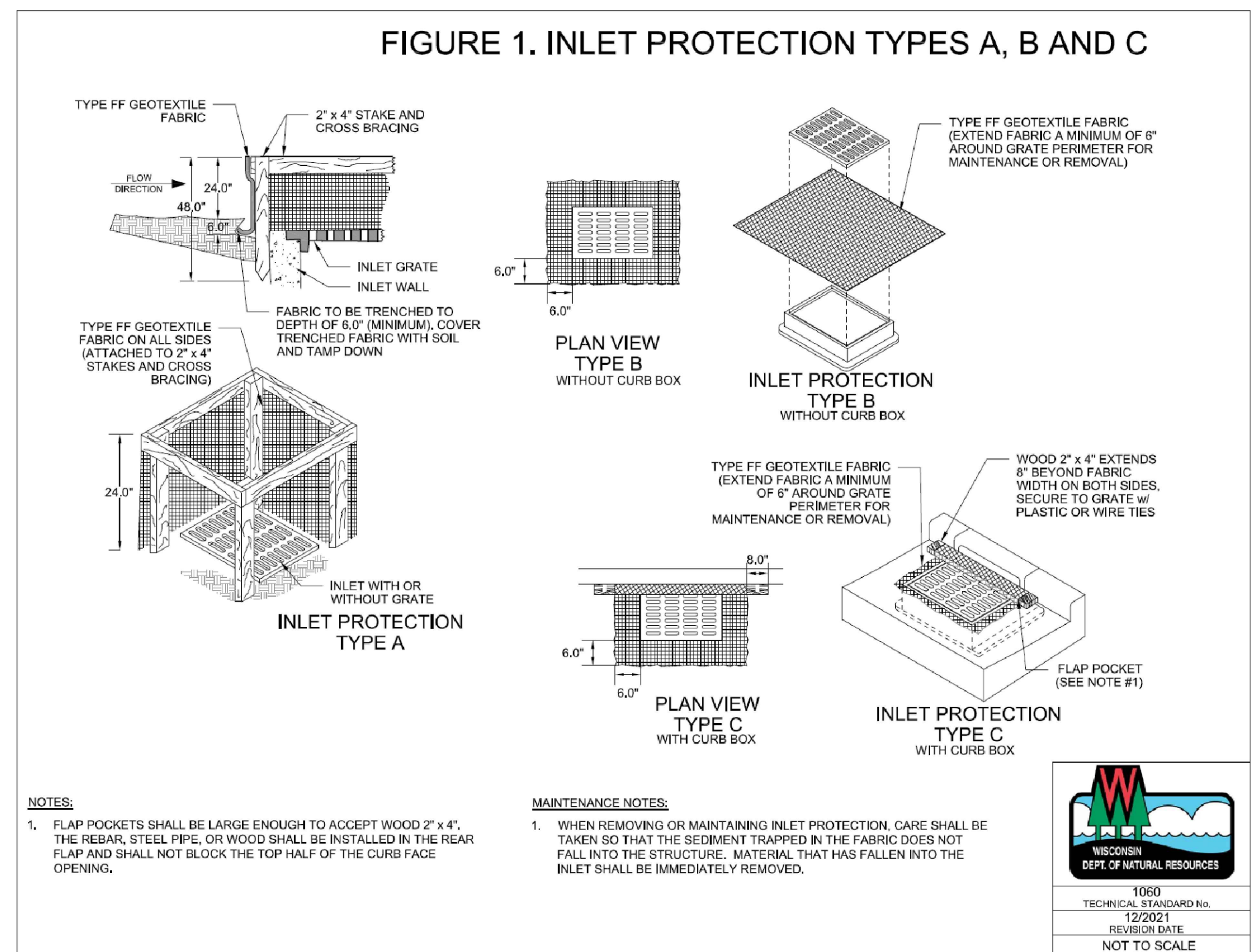
STORM CATCH BASIN DETAIL

NOT TO SCALE



SILT FENCE - INSTALLATION DETAIL

NOT TO SCALE



INLET PROTECTION DETAIL

NOT TO SCALE

PLANNING AND ARCHITECTURAL REVIEW COMMISSION APPLICATION

FEE SCHEDULE

Application Type	Fee	Application Type	Fee
Standard Application	\$ 300	CSM	\$ 175 + \$15 per lot
Architectural Review:	\$ 50	Plat Review Preliminary	\$ 100 + \$5 per dwelling unit
Zoning Text or Map Amendment	\$ 250	Plat Review Preliminary - Re Application Fee	\$ 50
Zoning Text or Map Amendment - Planned Unit Development	\$ 500	Plat Review Final	\$ 50 + \$5 per dwelling unit
Conditional Use Permit – Minor	\$ 125	Plat Review Final Plat - Reapplication Fee	\$ 25
Conditional Use Permit - Standard	\$ 300	Sign Appeal	\$ 300
Conditional Use Permit - Wetland Areas	\$ 300	Street Renaming	\$ 1,000

APPLICANT INFORMATION

Name of Applicant: Corbin Terlip

Legal Name of Business: MilBrew Holdings LLC

Name of Business Owner (if different from Applicant): 5265 NORTH PORT WASHINGTON LLC

Applicant Address (City, State, and Zip Code): 27 Central Ave, Cortland, NY 13045

Office Phone Number: 620-249-9079 Cell: _____ Fax: _____

Applicant E-Mail: cterlip@7brewmke.com

Applicants Signature : Corbin Terlip Date: Jul 10, 2025
Corbin Terlip (Jul 10, 2025 17:08 CDT)

PROPERTY INFORMATION

Property Address: 5265 N Port Washington Rd Tax Key Number: 19680030 Zoning District: B-1 "B"

Property Owner (if different from Applicant): 5265 NORTH PORT WASHINGTON LLC

Property Owner Address (City, State, and Zip Code): 27 Central Ave, Cortland, NY 13045

Property Owner Phone: 620-249-9079 Cell: _____ Fax: _____

Property Owner E-Mail: cterlip@7brewmke.com

Property Owner Signature: Corbin Terlip Date: Jul 10, 2025
Corbin Terlip (Jul 10, 2025 17:08 CDT)

PRIMARY CONTACT

Primary Contact Person for this Project: Corbin Terlip

Primary Contact Phone: 620-249-9079 Cell: _____ Fax: _____

Primary Contact E-Mail: cterlip@7brewmke.com

IMPORTANT NOTE: *The City of Glendale is not accepting paper document submittals. Plan Commission Review Submittals are required to be submitted via email to Director of Community Development John Fellows at J.Fellows@GlendaleWI.gov and Planner Ken Smith K.Smith@GlendaleWI.gov with PDF documents attached or as a web link to the PDF documents. Fee remittals may be delivered to Glendale City Hall, deposited in the drop box in front of City Hall, or mailed to:*

*City of Glendale, WI, 5909 North Milwaukee River Parkway, Glendale, WI 53209-3815,
Attn: Community Development Department*

CITY OF GLENDALE USE ONLY

Application Fee: _____ Date of Application: _____ Time: _____ Received by with date: _____ Tentative Hearing Date: _____

SUPPLEMENTARY INFORMATION:Type of review being requested: Site PlanName of Business and Type of Business/Use (Please be specific): 7 Brew coffee shop with drive thruTotal Building Area: 530 SF To Be Occupied Area: 530 SFLot Size: Depth: 170 LF Width: 180 LF Area: 27,100 SFPrevious Occupant in To Be Occupied Space: RestaurantOther Uses of This Site: NATotal Number of Parking Spaces: 12 Parking Spaces Available to Tenancy: 12Business Hours (Days and Hours of Operation): Sunday-Thursday from 5:30 AM – 10:30 PM / Friday & Saturday from 5:30 AM – 11:00 PMTotal Number of Employees: 60 Maximum Number of Employees at Site at One Time: 12

For applications regarding approval of a new business please refer to page three for information that should be included with a plan of operation or business plan.

Plan of Operation / Business Plan Submission Information

For applications regarding approval of a new business please provide the following information in a written plan of operation or business plan.

1. Name of Business, Address
2. Name of Owner, Address
3. Name of Applicant (if different from owner)
4. Legal Description of Property
5. Tax-Key
6. Zoning of Property
7. Lot Size (Depth, Width, Area)
8. Dimensions and all levels (floors) of buildings
9. Total Floor Area
10. Specific uses of the entire property and buildings
11. Minimum and maximum numbers of employees
12. Days of Operation
13. Hours of Operation
14. Signage (Type, Lighted?, Wall, Free-Standing, Monuments, Size, Location, etc)
15. What Conditions has the State or County imposed upon your use of the property?
16. Security Fencing
17. Do you feel there will be any problems such as Noise, Odors, Glare, Potential Fire Hazards, or Smoke resulting from the proposed use?
18. Are you proposing food services?
19. Did the State of Wisconsin approve your interior building plans?
20. What provisions are you making for fire protection and human safety?
21. What are your rules and regulations of the property?
22. List the Timetable for completion of building construction and anticipated opening date.
23. Proposed On-site Security Measures
24. Anticipated maximum number of facility users and viewers at one time (including special events)
25. Any other information you or the Plan Commission may determine is pertinent.
26. Business Plan
27. Entire Grant Application and County Issued Request for Proposal
28. Your Name, Signature, and Date on the Plan of Operation Document

OTHER INFORMATION REQUIRED

In addition to the information above, the following items are also required:

- Complete set of building plans (floor plans, elevation drawings, artistic images).
- Set of any site and landscaping plans.
- Set of any lighting and sign plans.
- Cover correspondence to include a narrative description of the proposed use and operations.

City App for Signature - Glendale

Final Audit Report

2025-07-10

Created:	2025-07-10
By:	Lisa Van Handel (lisa.vanhandel@excelengineer.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAArYj61Wi-tkimCEGIBRb7Z6zvYCpo-eM-

"City App for Signature - Glendale" History

-  Document created by Lisa Van Handel (lisa.vanhandel@excelengineer.com)
2025-07-10 - 9:31:34 PM GMT
-  Document emailed to cterlip@7brewmke.com for signature
2025-07-10 - 9:32:37 PM GMT
-  Email viewed by cterlip@7brewmke.com
2025-07-10 - 10:00:08 PM GMT
-  Signer cterlip@7brewmke.com entered name at signing as Corbin Terlip
2025-07-10 - 10:08:06 PM GMT
-  Document e-signed by Corbin Terlip (cterlip@7brewmke.com)
Signature Date: 2025-07-10 - 10:08:08 PM GMT - Time Source: server
-  Agreement completed.
2025-07-10 - 10:08:08 PM GMT





Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
MILBREW - 7 BREW
5265 N. PORT WASHINGTON RD. • GLENDALE, WI 53217

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 14, 2025
IFA JULY 31, 2025

JOB NUMBER

240353700

SHEET NUMBER

C1.4

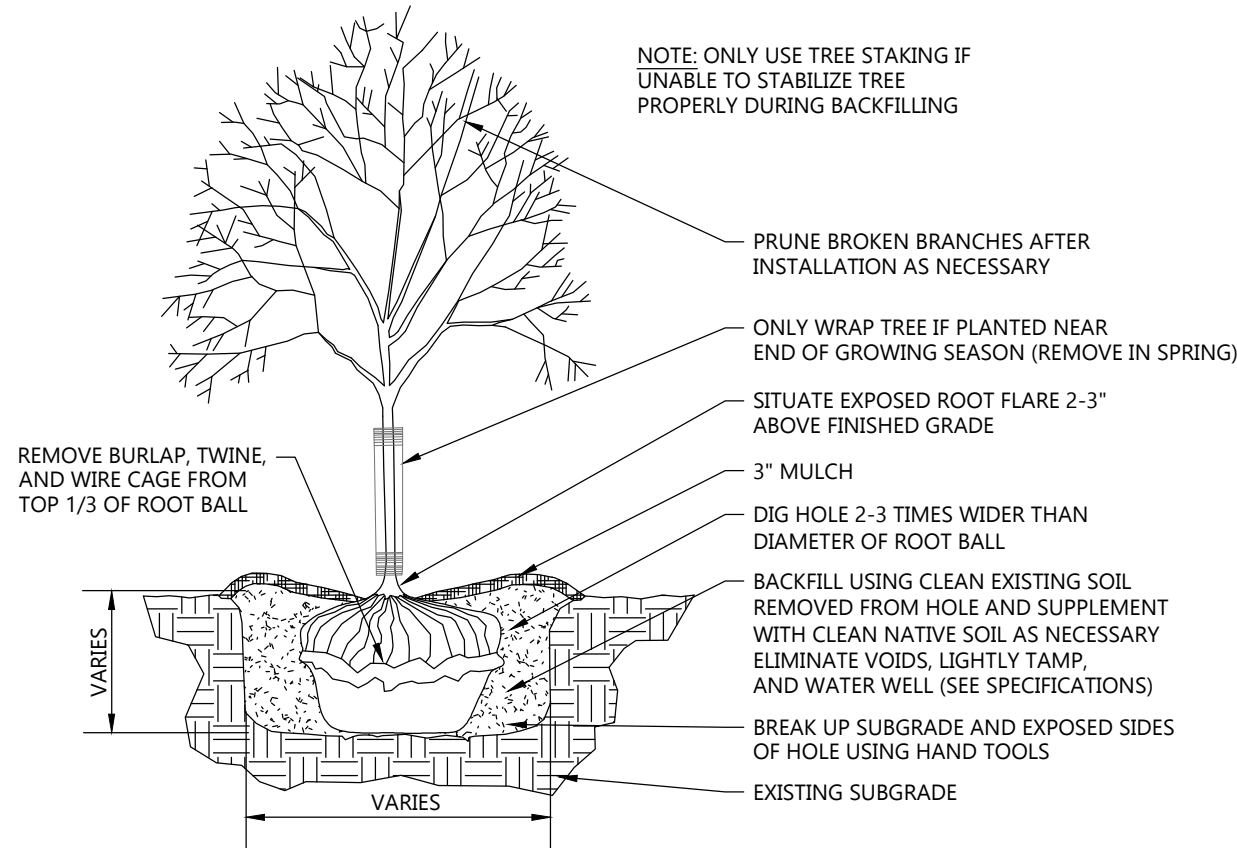
PLANT SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	PLANTED SIZE	ROOT
DECIDUOUS TREES					
	Armstrong Maple	Acer x freemanii 'Armstrong'	2	2 1/2" CAL.	CONT.
	Hackberry	Celtis Occidentalis	2	2 1/2" CAL.	CONT.
	Red Oak	Quercus rubra	1	2 1/2" CAL.	CONT.
EVERGREEN TREES					
	Emerald Arborvitae	Thuja occidentalis 'Smaragd'	6	6' HT.	CONT.
	Iowa Juniper	Juniperus chinensis Iowa'	14	6' HT.	CONT.
DECIDUOUS SHRUBS					
	Glossy Black Chokeberry	Aronia meloncarpa 'UCONNAM165'	9	18" HT.	CONT.
	New Jersey Tea	Ceanothus americanus	10	18" HT.	CONT.
	Greenstem Forsythia	Forsythia viridissima 'Bronxensis'	9	18" HT.	CONT.
	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	13	18" HT.	CONT.
	Dream Cloud Lilac	Syringa patula 'KLMone'	5	18" HT.	CONT.
EVERGREEN SHRUBS					
	Ames Kalm St. John's Wort	Hypericum kalmianum 'Ames'	15	18" HT.	CONT.
PERENNIALS					
	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	22	1 GAL.	POT
	Cat's Pajamas Catmint	Nepeta 'Cat's Pajamas'	13	1 GAL.	POT

HATCH KEY:

HATCH	LANDSCAPE MATERIAL
	RIVER ROCK
	ORGANIC MULCH

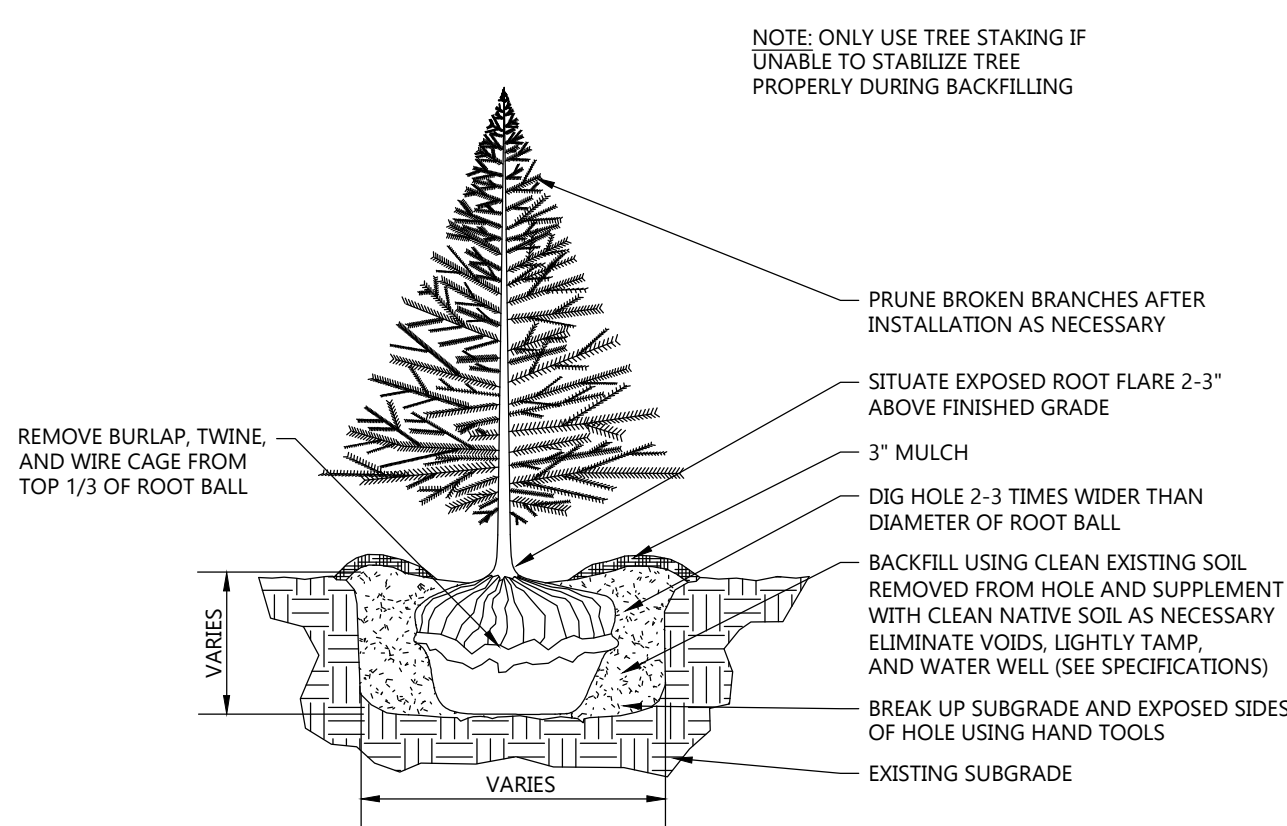
GENERAL NOTES:

- MULCH NEWLY DEVELOPED AREAS ALONG WITH EXISTING AREAS AS NEEDED. WHEN MULCHING EXISTING AREAS THAT ALREADY CONTAIN MULCH, MATCH TO EXISTING.
- PLANTS IN RIGHT OF WAY TO BE LOCATED IN FIELD TO ENSURE CORRECT PLACEMENT. PROPOSED SHRUBS IN RIGHT OF WAY MAY BE SUBSTITUTED TO MATCH EXISTING SURROUNDING VEGETATION.



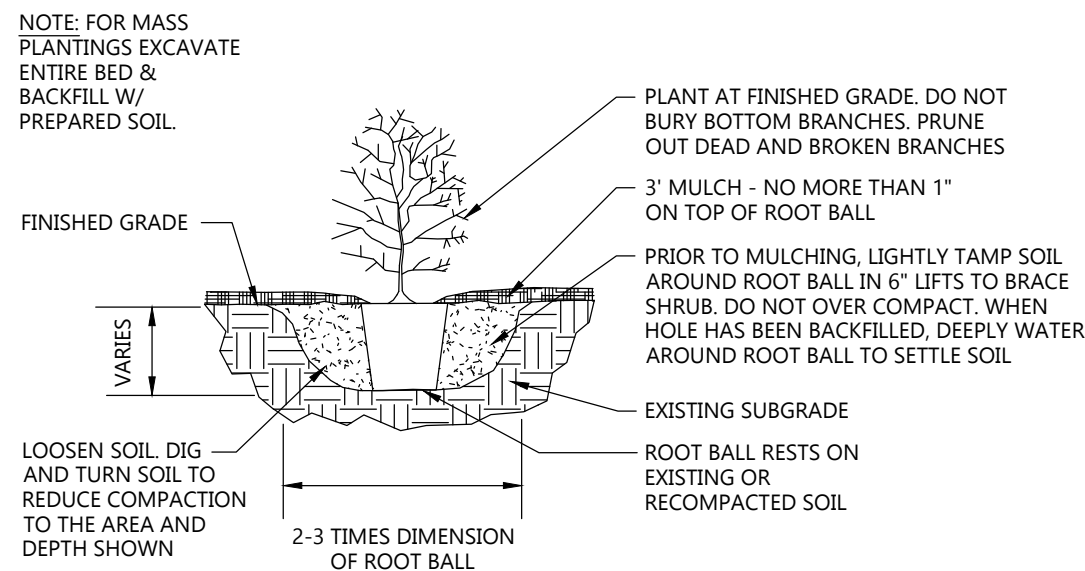
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



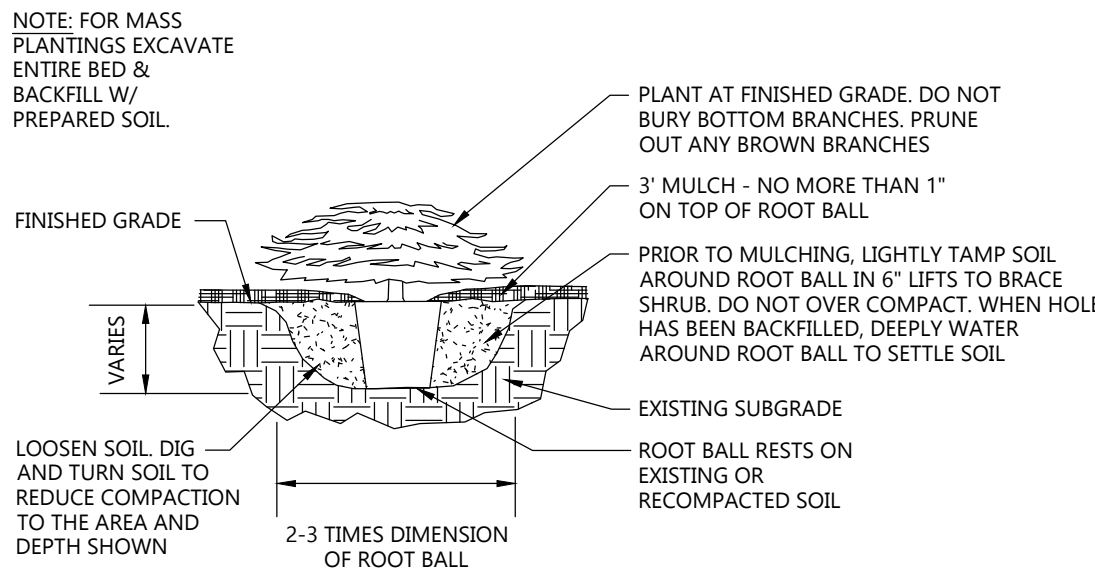
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



DECIDUOUS SHRUB PLANTING DETAIL

NOT TO SCALE



EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN