



CITY OF GLENDALE
5909 North Milwaukee River Parkway
Glendale, WI 53209

AGENDA-BOARD OF APPEALS MEETING

Wednesday, March 11, 2026
6:00 PM

Members: Alderman John Gelhard (Chairman), Molly Collins, Rosemary Reyes, Jon Janowski, Hope Liu,
Steve McGaver, Walter Wilson (alternate)

1. Roll Call and Pledge of Allegiance

2. New Business

- a. Review and Possible Action: Variance for Fire Pump Room at Brady Corporation, 2230 West Florist Avenue

3. Adjournment

NOTICE: Although this is NOT a meeting of the Glendale Common Council, a majority of Council members may be in attendance. No action or deliberation by the Council will take place.

SUBJECT: Review and Possible Action: Variance for Fire Pump Room at Brady Corp, 2230 West Florist Avenue

FROM: Benjamin Polony, Assistant to the Administrator

MEETING: March 11, 2026 Board of Appeals

MEETING DATE: March 11, 2026

FISCAL SUMMARY:

Budget Summary: N/A

Budgeted Expenditure: N/A

Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A

Municipal Code: 13.1.194

BACKGROUND & ANALYSIS: Brady Corporation, located at 2230 W. Florist Avenue in the M-1 Industrial zoning district, is requesting a variance to allow construction of an expansion of their existing building, a fire pump room, that would encroach 6.5 feet into the required 25-foot building setback.

The applicant initially submitted plans for administrative approval to construct a fire pump room to house a new fire sprinkler foam fire pump system serving the existing building. The plans were denied because the proposed addition exceed the required setback. The applicant now seeks a variance, stating the room must be located at the point where the fire main enters the building and that the proposed location is the only feasible option.

Board Review:

Pursuant to Section 13.1.194 (a)(2), the Board may authorize a variance from the terms of the Zoning Code if a request is made where:

1. Approval will not be contrary to the public interest

2. The request is owing to conditions peculiar to the property and not the result of the actions of the applicant
3. A literal enforcement of the Zoning Code would result in an unnecessary and undue hardship
4. The spirit of the Zoning Code shall be observed and substantial justice done through approval of the request

The Code defines “undue hardship” as an unusual or extreme decrease in the adaptability of the property to permitted uses, caused by facts uniquely applicable to the property, as distinguished from those applicable to most or all properties in the same zoning district.

1. Public Interest

The proposed fire pump room is accessory to an existing industrial use and is intended to house life-safety equipment. The encroachment is limited to 6.5 feet into the 25-foot setback. The addition would not expand the underlying use of the property but would support fire protection improvements. If the structure does not interfere with public utilities, drainage, access, or neighboring properties, the request does not appear contrary to the public interest.

2. Conditions Peculiar to the Property and Not Self-Created Circumstances

The applicant asserts the fire pump room must be located at the existing fire main entry point and that no alternative locations are feasible. The Board must determine whether the location of the fire main constitutes a condition peculiar to the property and whether it is fixed in such a manner that relocation is not reasonably possible. If the fire main configuration is unique to this building and limits placement options, this factor may weigh in favor of the request.

The Board must also determine whether the hardship is self-created. If the fire main location predates the current proposal and the need for the foam fire pump system arises from fire protection requirements rather than voluntary design preference, the hardship may not be self-created. However, if alternative compliant configurations are reasonably achievable, the hardship may be considered avoidable.

3. Creation of Undue Hardship

To grant the variance, the Board must find that strict enforcement of the 25-foot setback would result in an undue hardship—meaning the property would experience an unusual or extreme limitation in its ability to be used for permitted industrial purposes. If denial would effectively prevent the installation of the required fire suppression equipment necessary for the facility's lawful operation, the undue hardship standard may be satisfied. If compliance is possible through alternative placement or design, even at increased cost, the statutory standard may not be met.

The Board must determine whether the need to locate the fire pump room at the existing fire main entry point constitutes a property-specific condition resulting in an undue hardship under Section 13.1.194. The request involves a limited encroachment of 6.5 feet into the required 25-foot setback for the installation of fire protection equipment.

4. The Spirit of the Zoning Code and Substantial Justice Done

Setbacks regulate the orderly placement of buildings, create an organized urban design that allows for appropriate separation between buildings, roads, and infrastructure, and allow for safe access to utilities. The Board must determine whether the limited encroachment of 6.5 feet into the required 25-foot setback violates the spirit of the setback requirement or whether permitting the variance will still allow the spirit and intent of the setback to be maintained.

If the Board finds that the fire main location is fixed and not reasonably relocatable, that compliance with the setback would prevent installation of necessary fire suppression equipment, and that the variance will not negatively affect the public interest, approval may be justified. Absent such findings, the variance should be denied.

Staff Review:

Staff offers the following evaluation of and comment on the applicant's justification for the variance according to Section 13.1.194 (e), which outlines the required findings for approval:

1. **The variance will not be contrary to the public interest.** The proposed fire pump room is necessary to provide adequate fire suppression to the building. Per the applicant, the fire pump room must be placed in this location due to the water main, and it is the only feasible location for the fire sprinkler foam fire pump system. The encroachment into the 25-foot setback applies only to the pump room area of the building expansion, and following confirmation that it does not obstruct any utilities, will allow appropriate access to the building and infrastructure. The encroachment does not pose a safety risk to users of the adjacent street. Staff finds that the variance will not be contrary to the public interest.
2. **Substantial justice will be done by granting the variance.** Staff finds that permitting the variance will allow substantial justice to be done by enabling an existing building to meet necessary safety standards and continue operation of its facility without causing significant disruption to the urban design, function, or safety of the surrounding area.
3. **The variance is needed so that the spirit of the ordinance is observed.** Staff finds that permitting the encroachment in the setback solely for the pump room area will continue to observe the spirit of the Zoning Ordinance and the intention of the setback regulation. An 18.5-foot setback will still be preserved at the pump room location, while the remainder of the property will continue to adhere to the 25-foot setback regulation.
4. **Due to special conditions, a literal enforcement of the provisions of the zoning ordinance will result in unnecessary hardship.** Staff finds that literal enforcement of the Zoning Code as written will result in undue hardship for the applicant and the City by rendering their existing manufacturing facility unsafe and inadequately protected from fire; therefore, placing it in violation of the law and restricting its use for permitted industrial purposes.

Recommendation and Conditions

In affirming the required findings of Section 13.1.194 (e) and 13.1.194 (a)(2), staff recommends approval of the requested variance with the following conditions:

1. The variance permitting 6.5-foot encroachment into the required setback only pertains to the pump room designed and located as submitted by the applicant and does not create a new setback line for the property or adjacent street frontage. No additional building construction is permitted to encroach on the 25-foot setback.
2. The applicant must work with the City engineer and relevant parties to confirm that the proposed pump room will not restrict access to utilities or other critical infrastructure prior to receiving building permits.

Recommended Motion

1. Approve the proposed variance for 2230 W. Florist Avenue with the recommended conditions contained in this memo, including a finding that the variance is justified per Section 13.1.194 and findings in the affirmative per Section 13.1.194 (e).
2. Deny the proposed variance for 2230 W. Florist Avenue [provide rationale for denial, based on findings in the negative above].

RECOMMENDATION: Grant a variance to the Brady Corporation for a new Fire Pump Room at 2230 West Florist Avenue with the following stipulations:

1. The variance permitting 6.5-foot encroachment into the required setback only pertains to the pump room designed and located as submitted by the applicant and does not create a new setback line for the property or adjacent street frontage. No additional building construction is permitted to encroach the 25-foot setback.
2. The applicant must work the City engineer and relevant parties to confirm the proposed pump room will not restrict access to utilities or other critical infrastructure prior to receiving building permits.
3. The applicant will work with City staff to ensure adequate screening of the building.

ACTION REQUESTED: Motion to approve the variance for a Fire Pump Room for the Brady

Corporation at 2230 West Florist Avenue with the stipulations given in the staff recommendation.

ATTACHMENTS:

Brady Fire Pump Room Plans, Brady Florist Fire Pump Room Variance Justification

Code Information

Addition to existing building

Building Code - State of Wisconsin Building Code 2015 IBC, 2015 IEBC, ICC/ANSI A117.1-2009

Type of Construction - Type 1B

Fire Rated Construction from Table 601

Roof construction - 1 hour

Bearing Walls - 2 hour

Building number of stories - 2 story (addition is single story)

Area of main building - 82,000 sf

Area of addition - 600 sf

Total building area - 82,600 sf

Occupancy - Group F-1 - Factory

Occupant load - 82,600 sf /100 sf per occupant = 826 occupants

Allowable area per Table506.2 (Type 1B, F-1,SM) - unlimited

Fire Protection - Fully sprinkled per NFPA 13

Fire Alarm - Automatic detection and alarm (horns/strobes)

Project Description - building for the enclosure of a new Automatic foam fire supression system

Brady Corporation
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

Brady Corporation
2230 W Florist Ave,
Glendale, WI 53209

Drawing Index

T 1.0	Title Sheet
C 1.0	Site Survey
C 1.1	Site Plan
A 1.2	Plan
A 3.0	Building Elevations
A 4.0	Building Sections
S 1.0	Foundation Plan
S 1.1	Roof Framing Plan
S 3.0	Notes/Details
S 3.1	Notes
S 3.2	Details
S 3.3	Details

Fire Protection Drawings shown for reference

FP-4	Fire Pump Layout
------	------------------

Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE

9/8/2025
REVISED 10/14/2025

PROJECT NUMBER

193124

SEAL

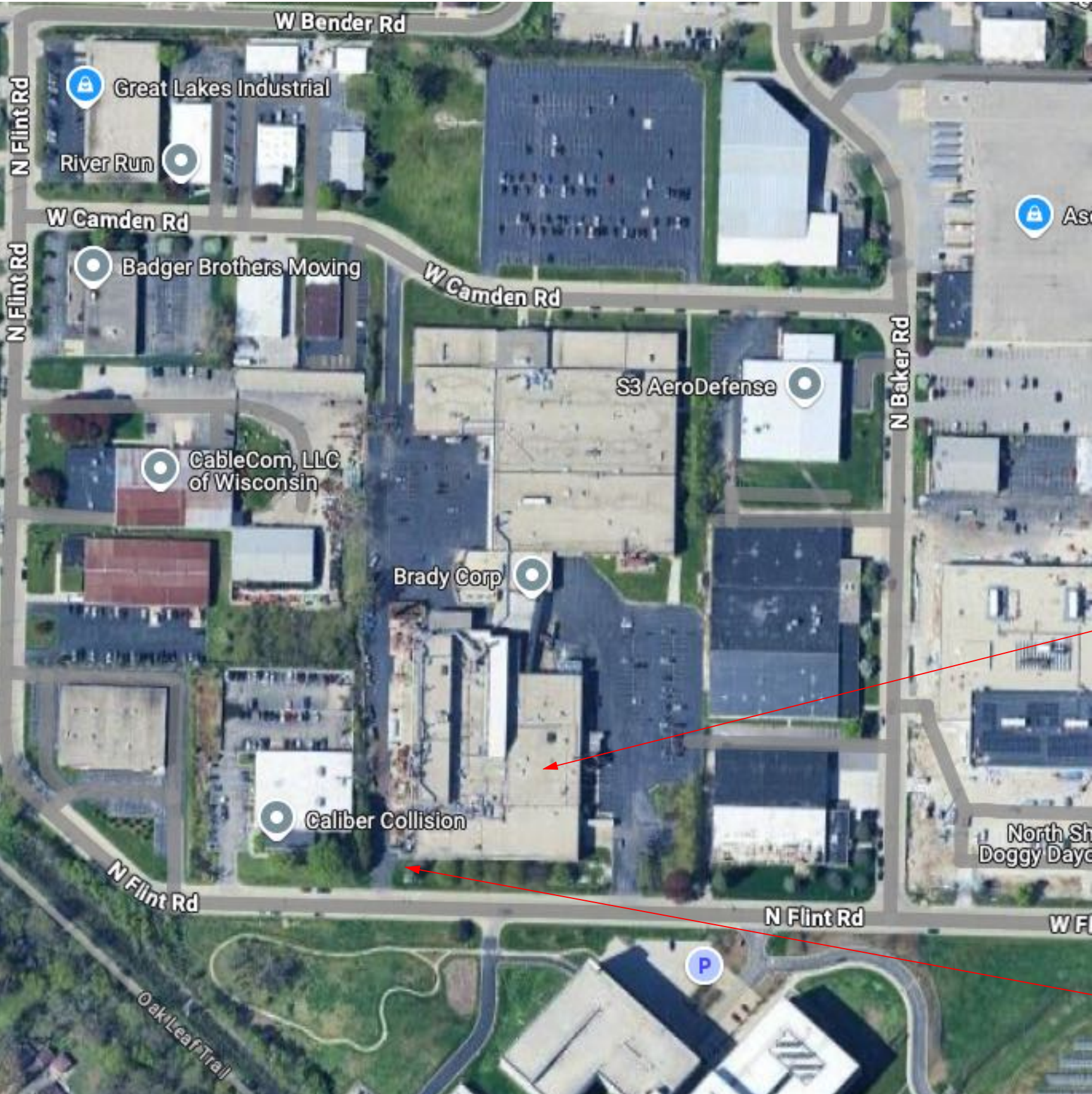


SHEET TITLE

Title

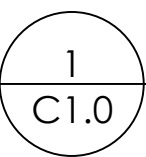
SHEET NUMBER

T1.0



Brady Corporation
2230 W Florist Ave,
Glendale, WI 53209

Location of
proposed addition



Site Location

NTS



Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
9/8/2025

PROJECT NUMBER
193124

SEAL

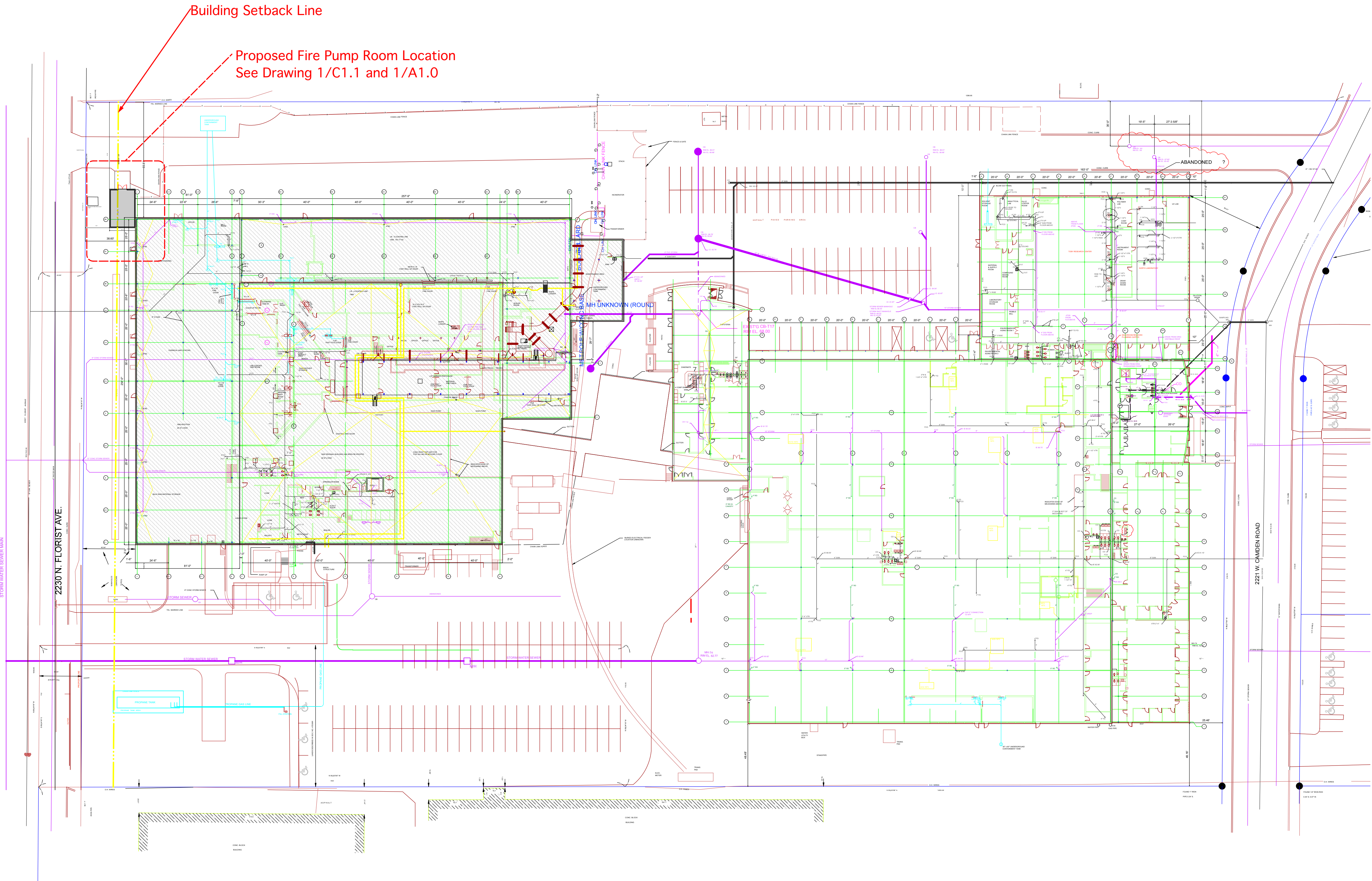
SHEET TITLE

Site Survey

SHEET NUMBER

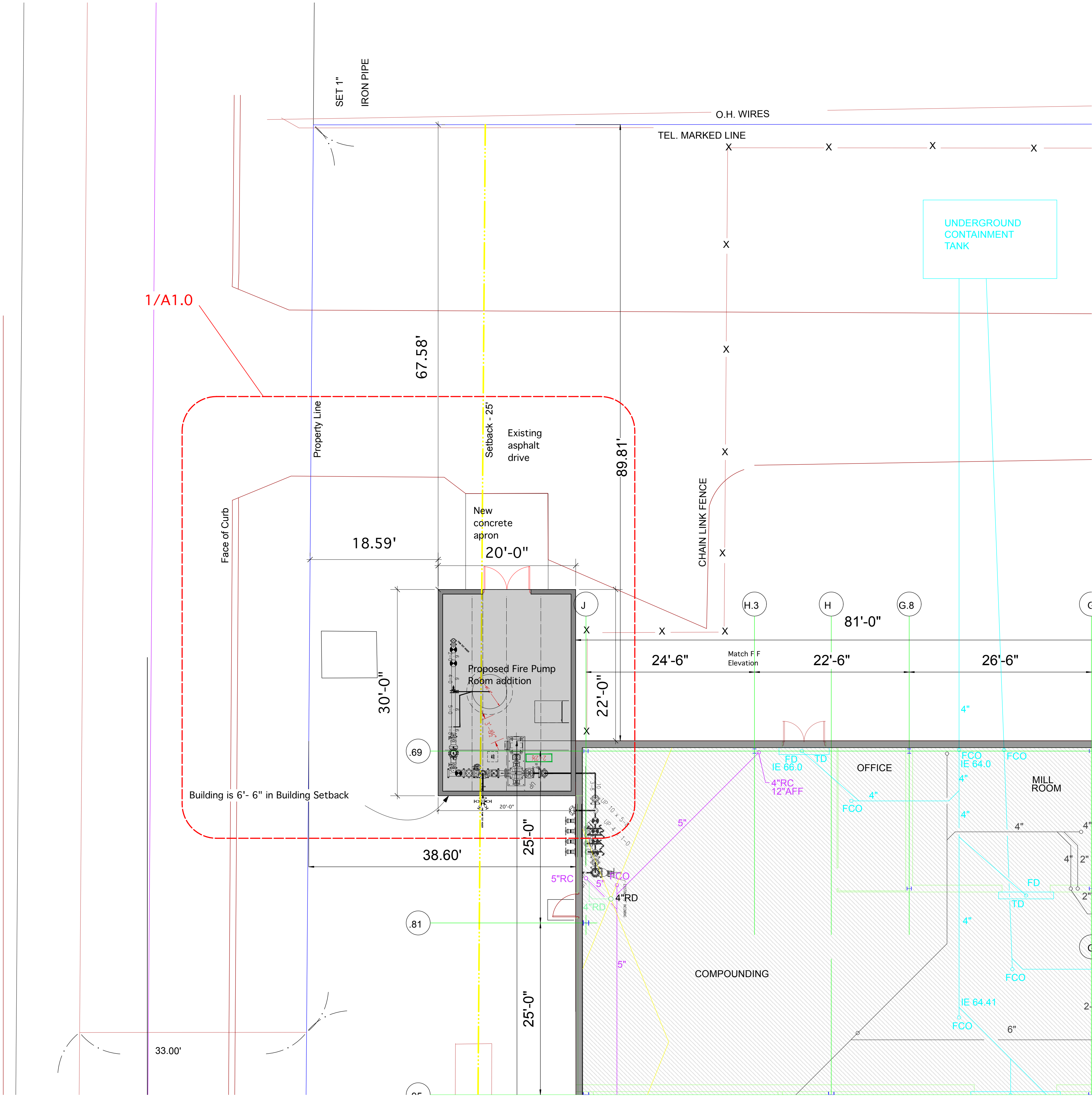
C1.0

Copyright © 2025 Michael Garber Architecture LLC, Inc.
All Rights Reserved



1
C1.0
Site Survey
1" = 40'-0"





1
C1.1

Partial Site Plan

1/8" = 1'-0"



Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE

9/8/2025

PROJECT NUMBER

193124

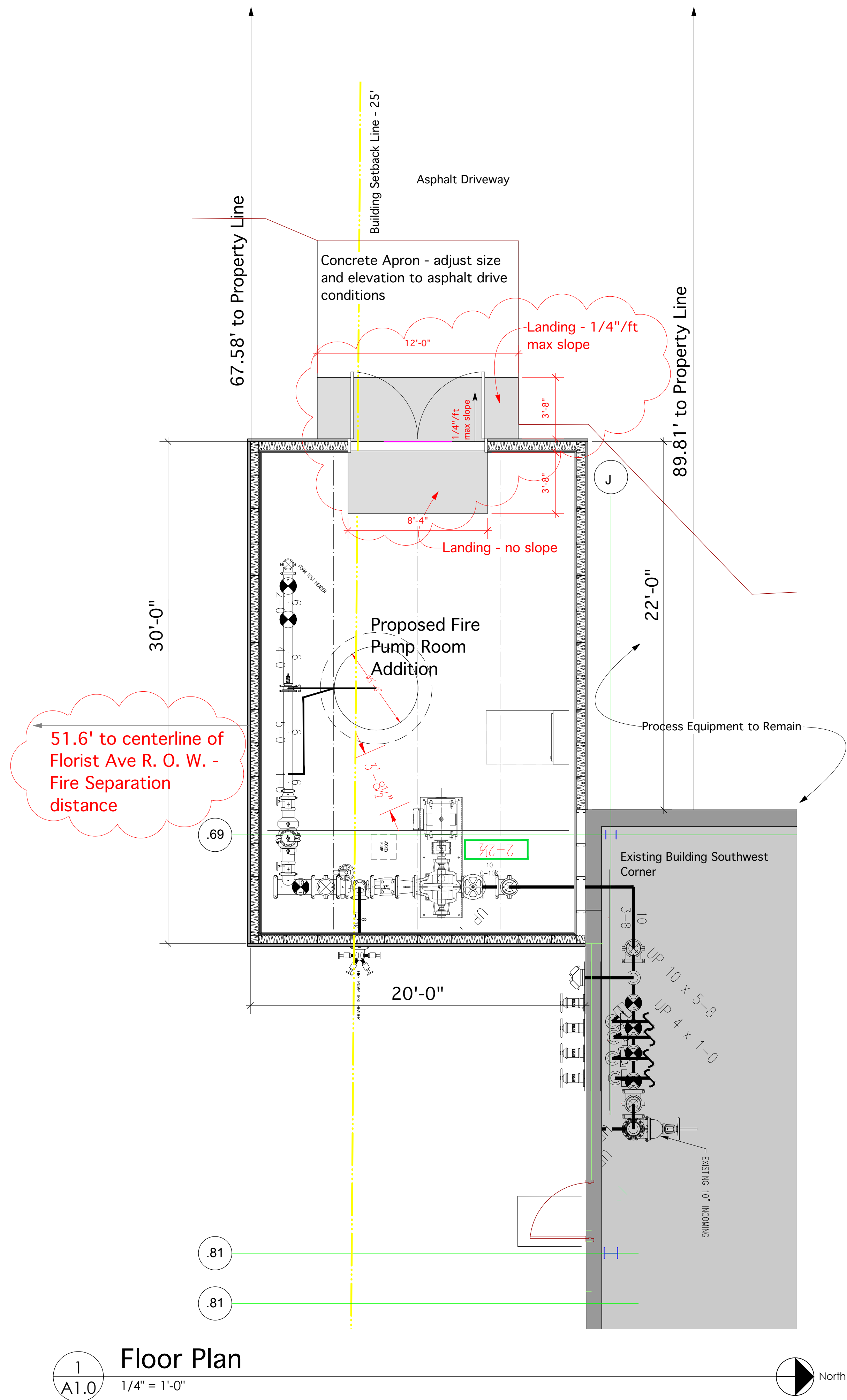
SEAL

SHEET TITLE

Site Plan

SHEET NUMBER

C1.1



Notes

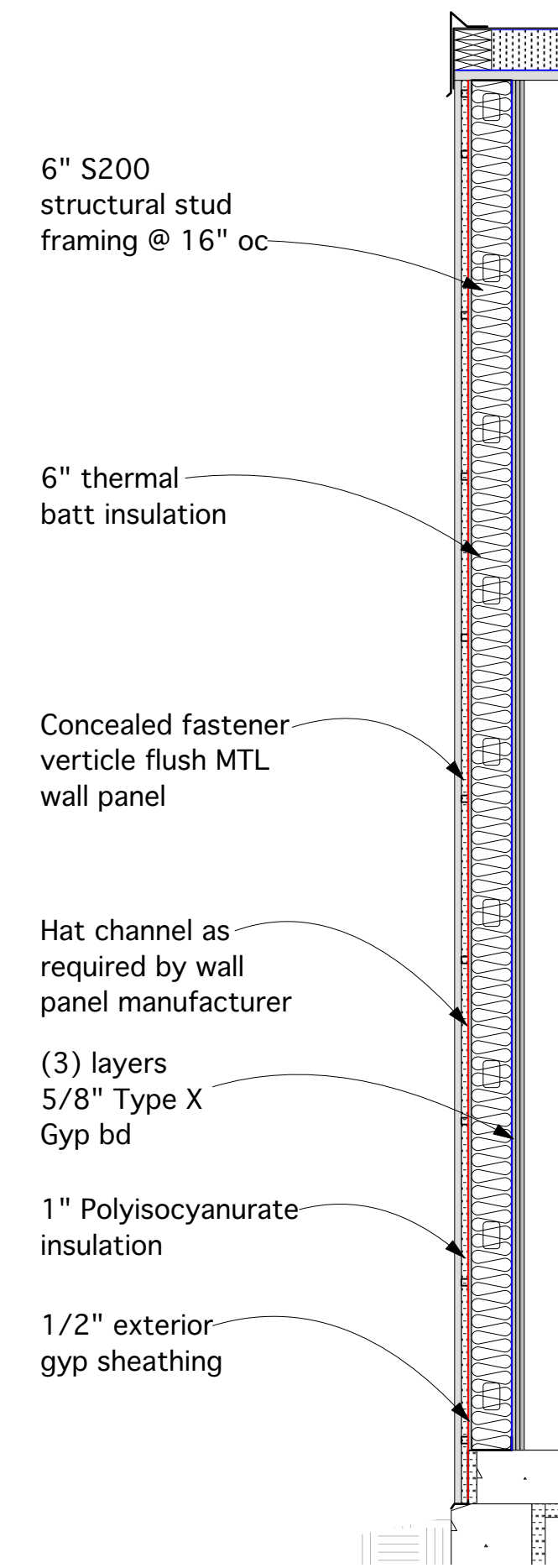
Adjust existing grade to allow 3'-6" minimum cover at all grade beams

Grade beams to be poured on 2" XPS insulation

Cold Formed Steel Framed wall to be UL design U418 2 hour bearing wall rated for exposure to fire from the inside. Table 601, 602 and 705.5 ; fire separation distance ≥ 30 ft for all walls

Steel joists and mtl deck to have Spray Applied Fire Resistive Materials - UL design S749 1 hr

Pipe penetrations to comply with UL Design W-L-5382. HILTI FS-ONE MAX Intumescent sealant system



Wall type UL design U418 2 hour (all walls)

Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
9/8/2025

REVISED 10/14/2025

PROJECT NUMBER
193124

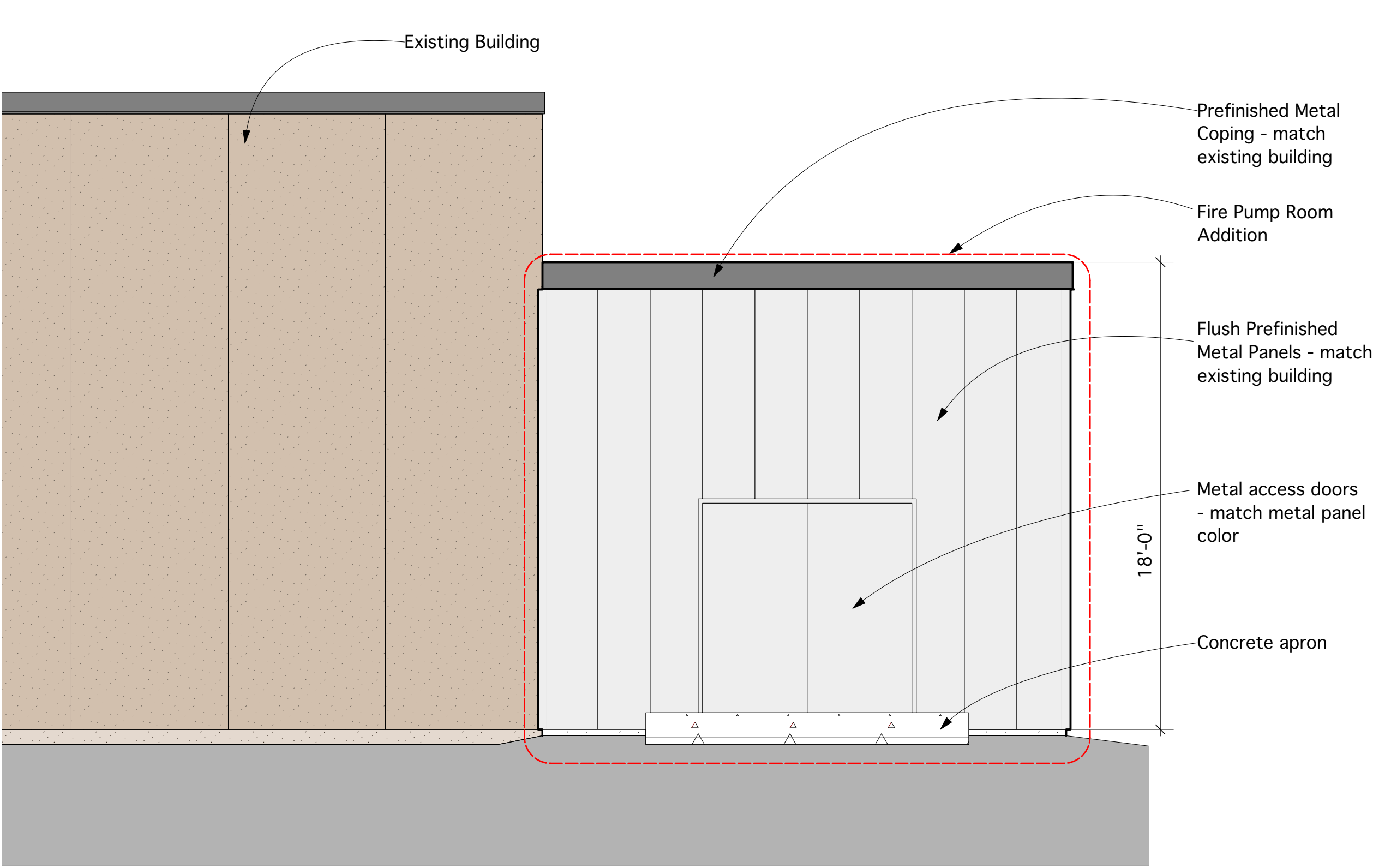
SEAL

SHEET TITLE

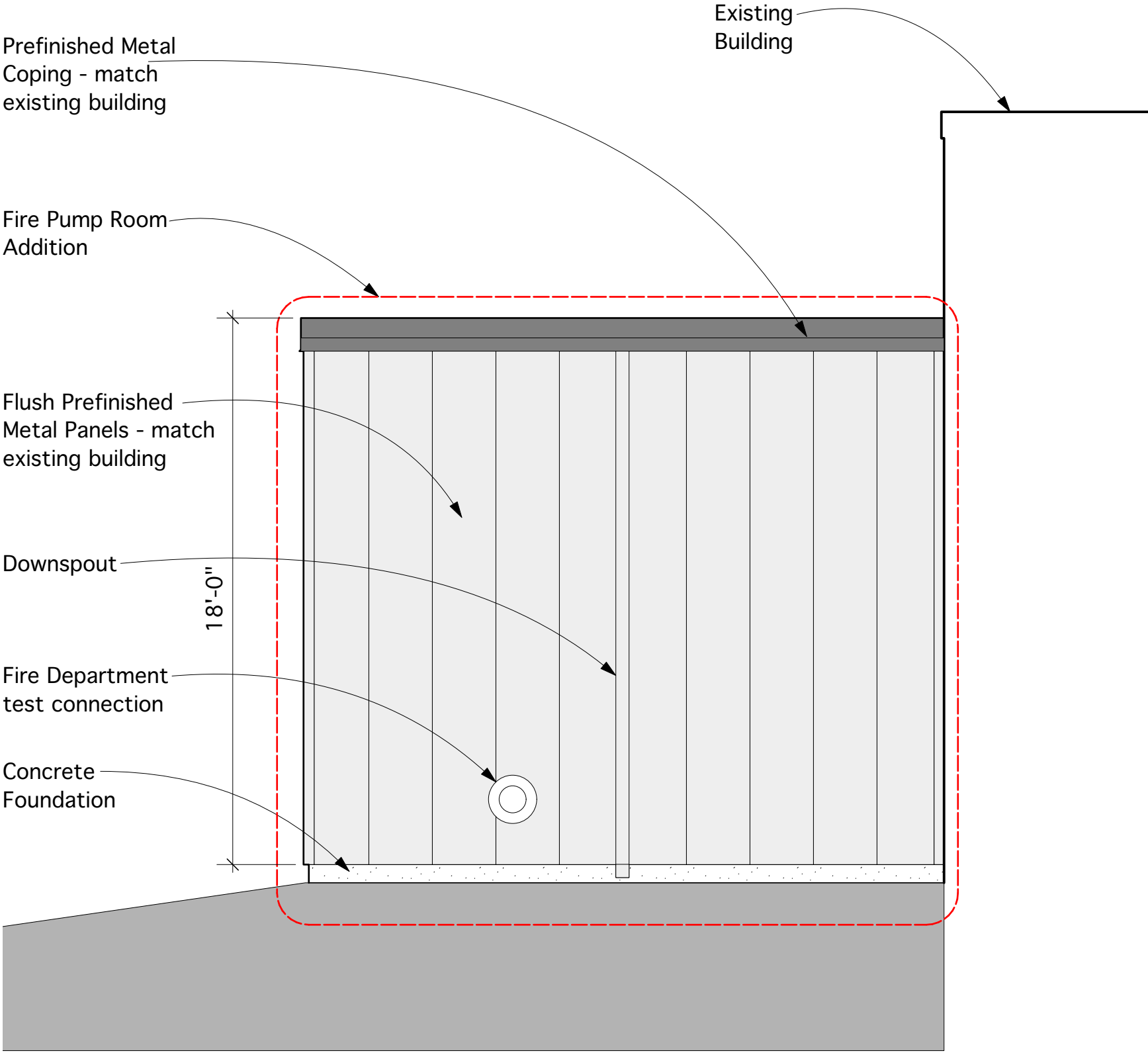
Floor Plan

SHEET NUMBER

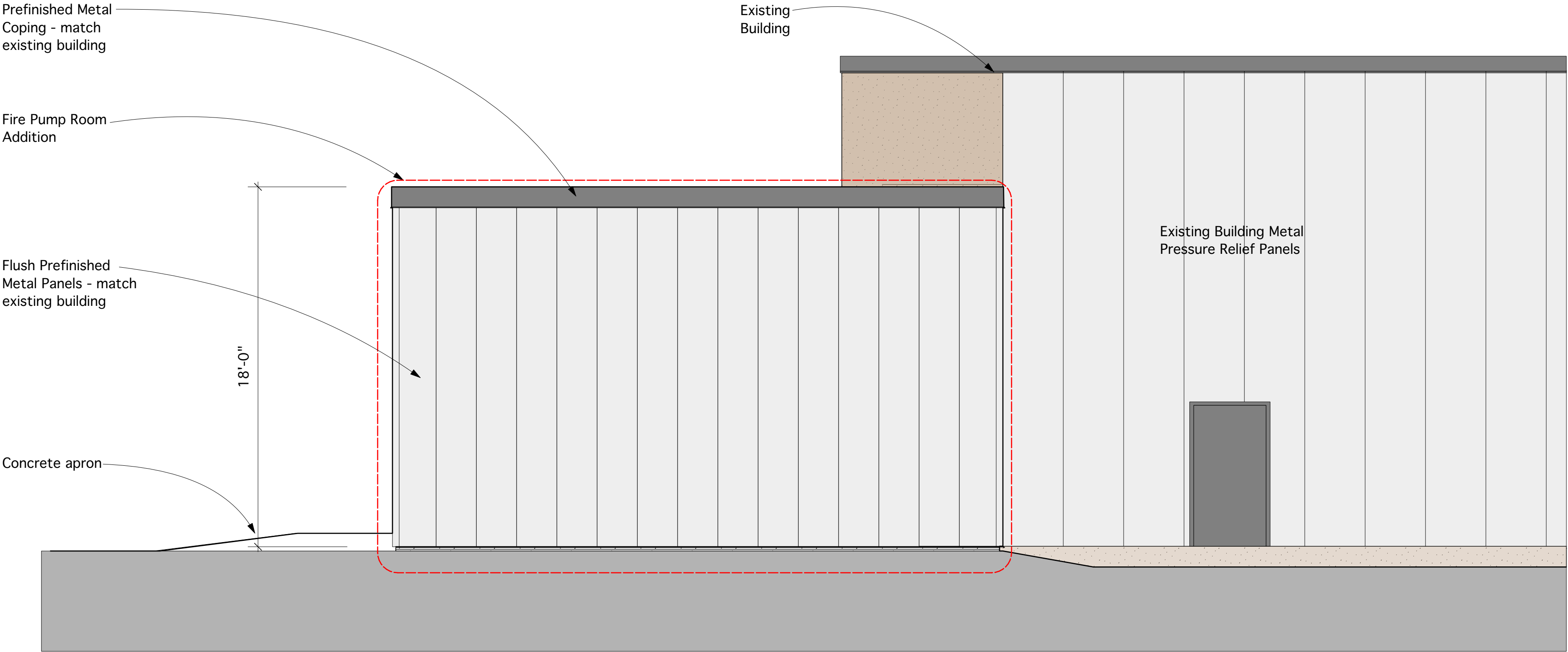
A1.0



2
A3.0
West Elevation
1/4" = 1'-0"



3
A3.0
East Elevation
1/4" = 1'-0"



1
A3.0
South Elevation
1/4" = 1'-0"

Notes
Adjust existing grade to allow 3'-6" minimum cover at all grade beams
Grade beams to be poured on 2" XPS insulation

Michael Garber
Architecture LLC
855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290
email:
mikegarber@wi.rr.com

PROJECT
Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
9/8/2025

PROJECT NUMBER
193124

SEAL

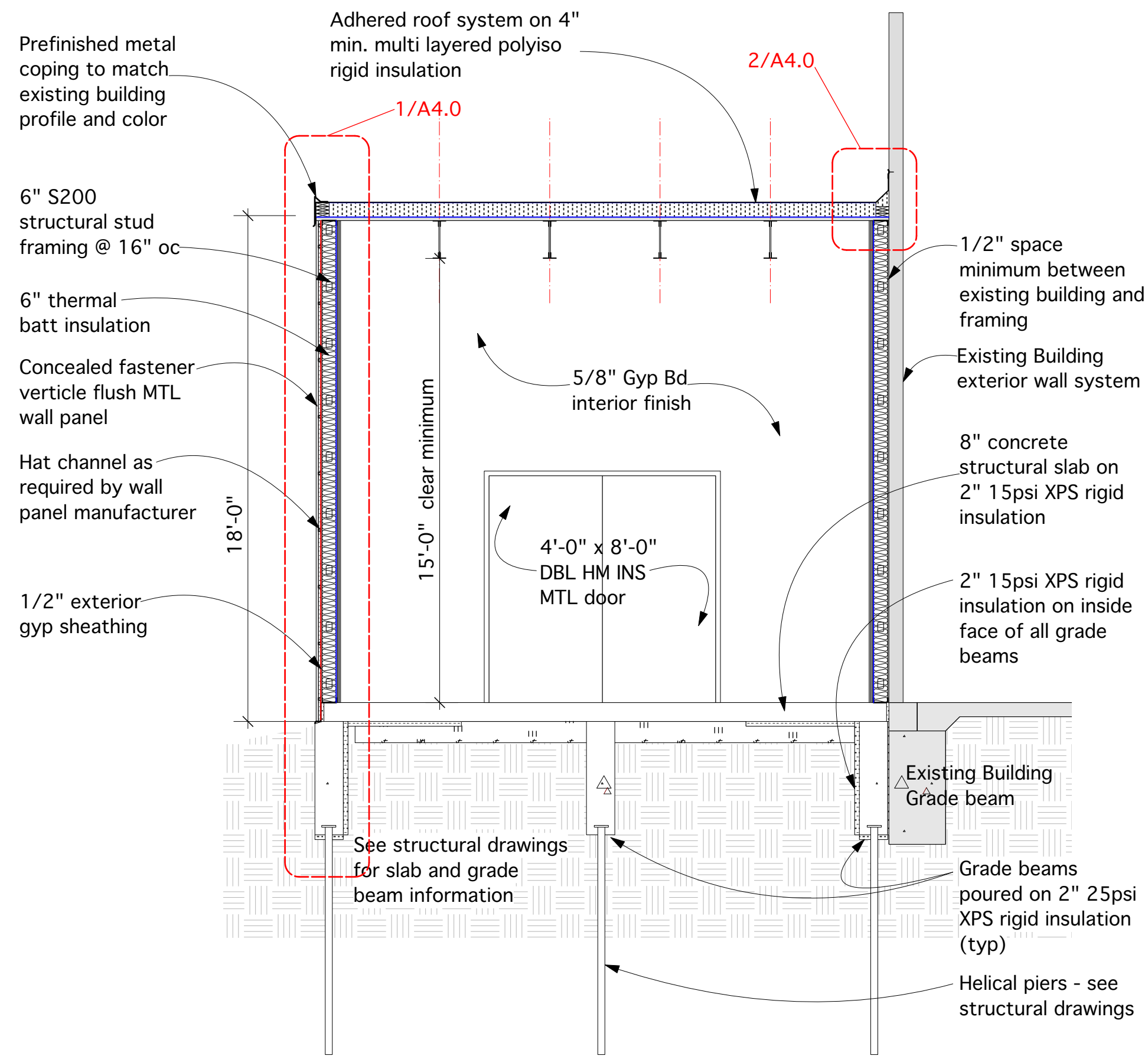
SHEET TITLE

Building Elevations

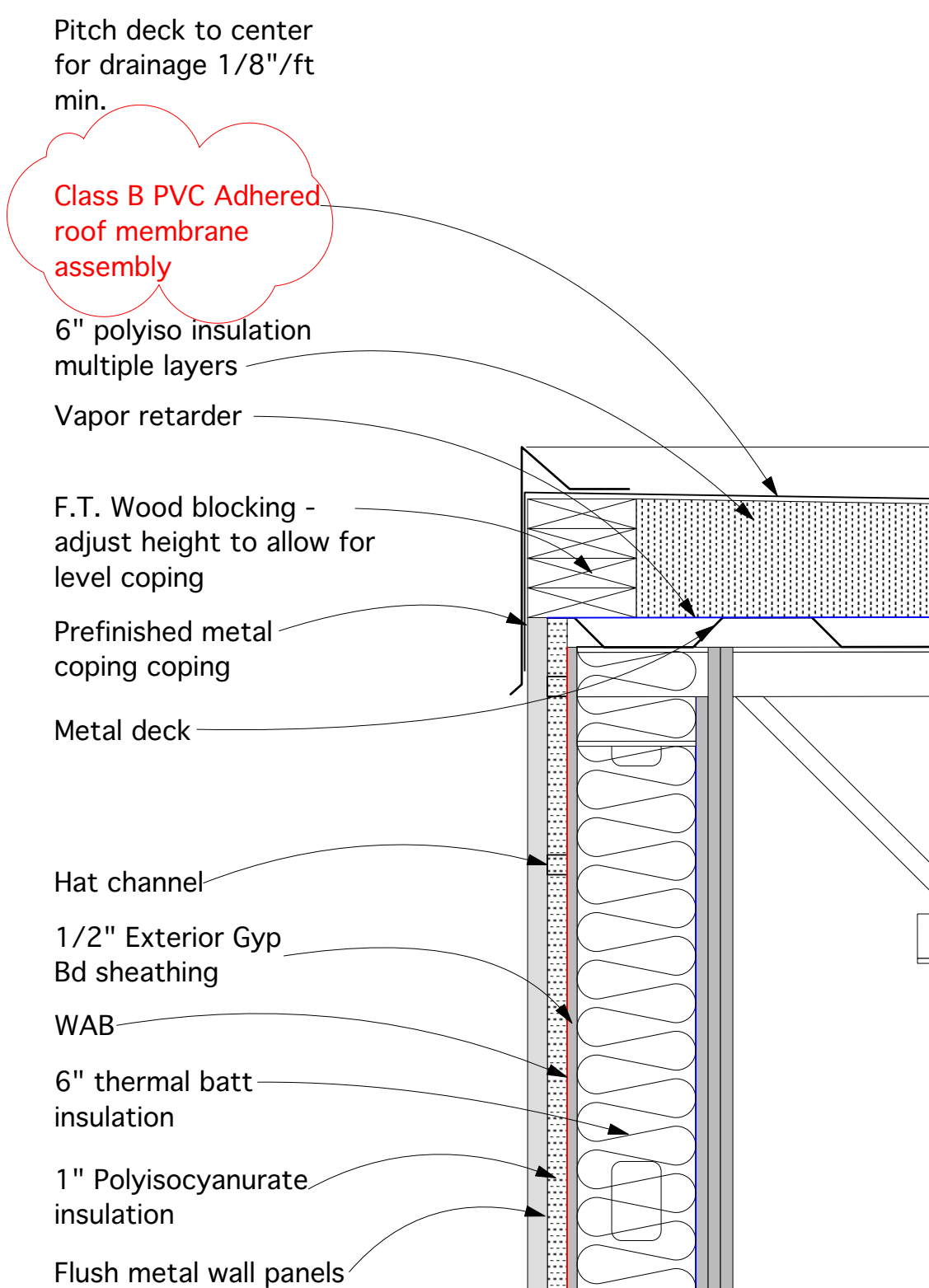
SHEET NUMBER

A3.0

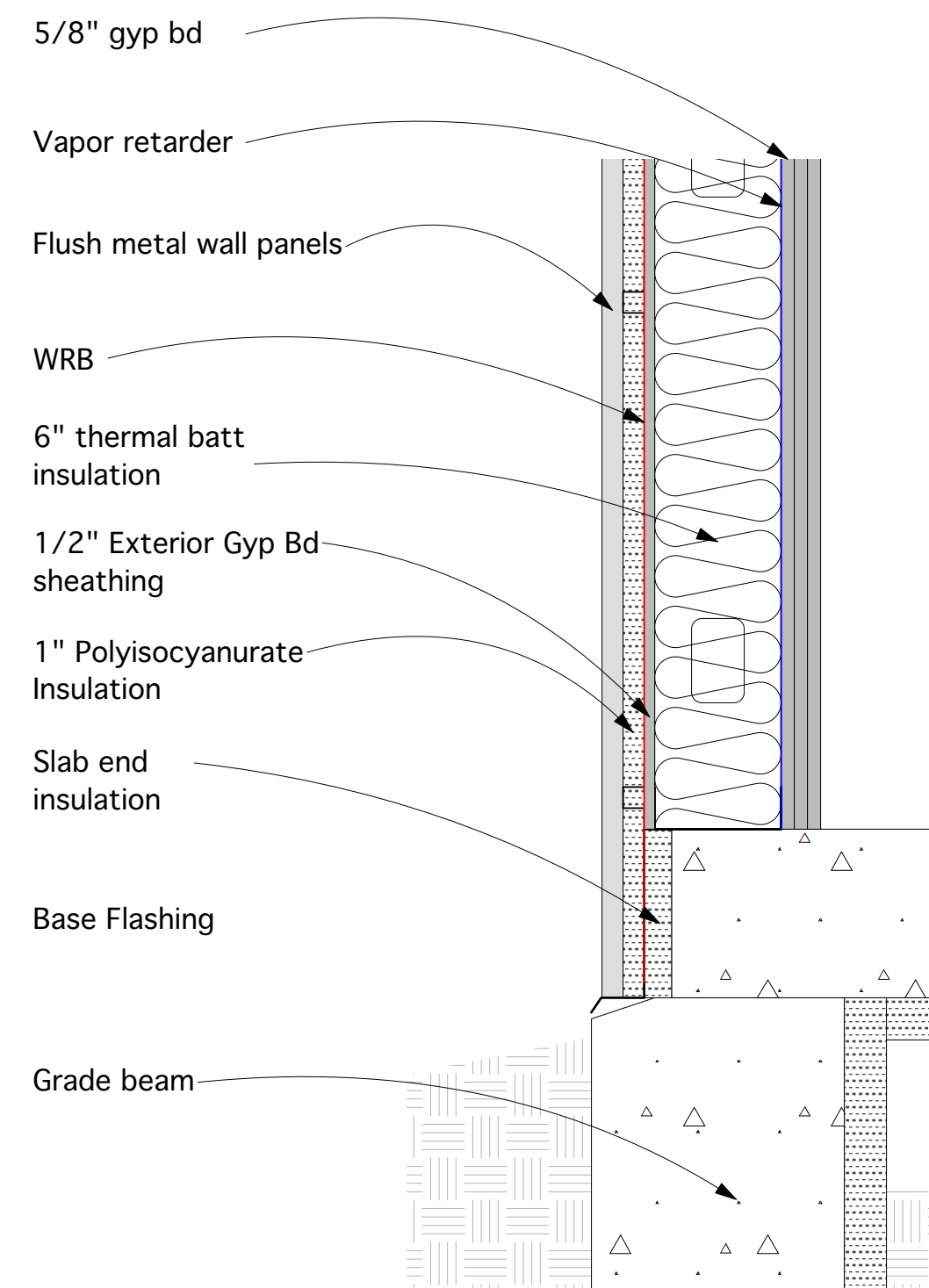
Note : Provide spray Applied Fire Resistive Materials to metal deck and joists for 1 hour fire rating



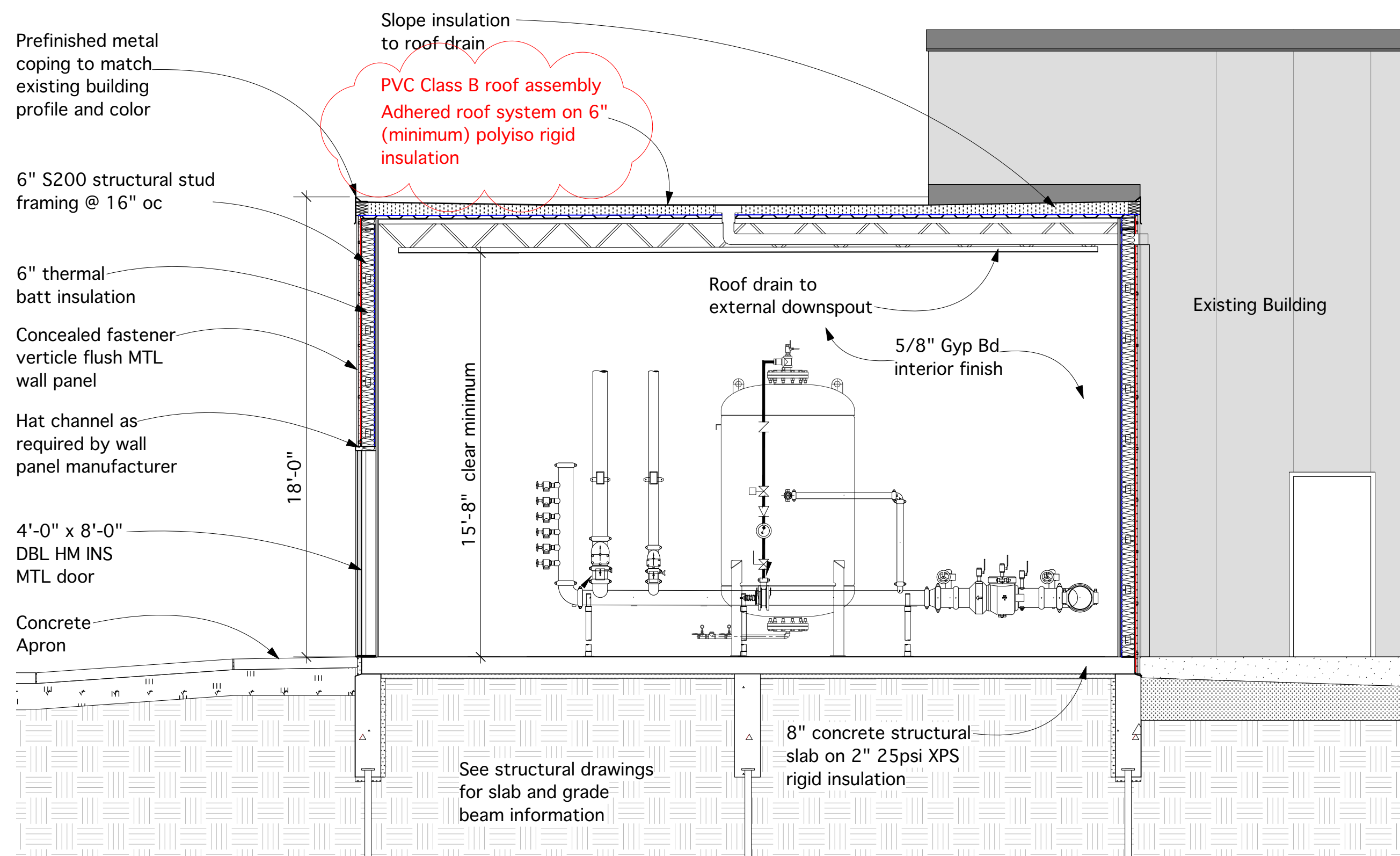
4 Section - Looking West
A4.0 1/4" = 1'-0"



5
A4.0



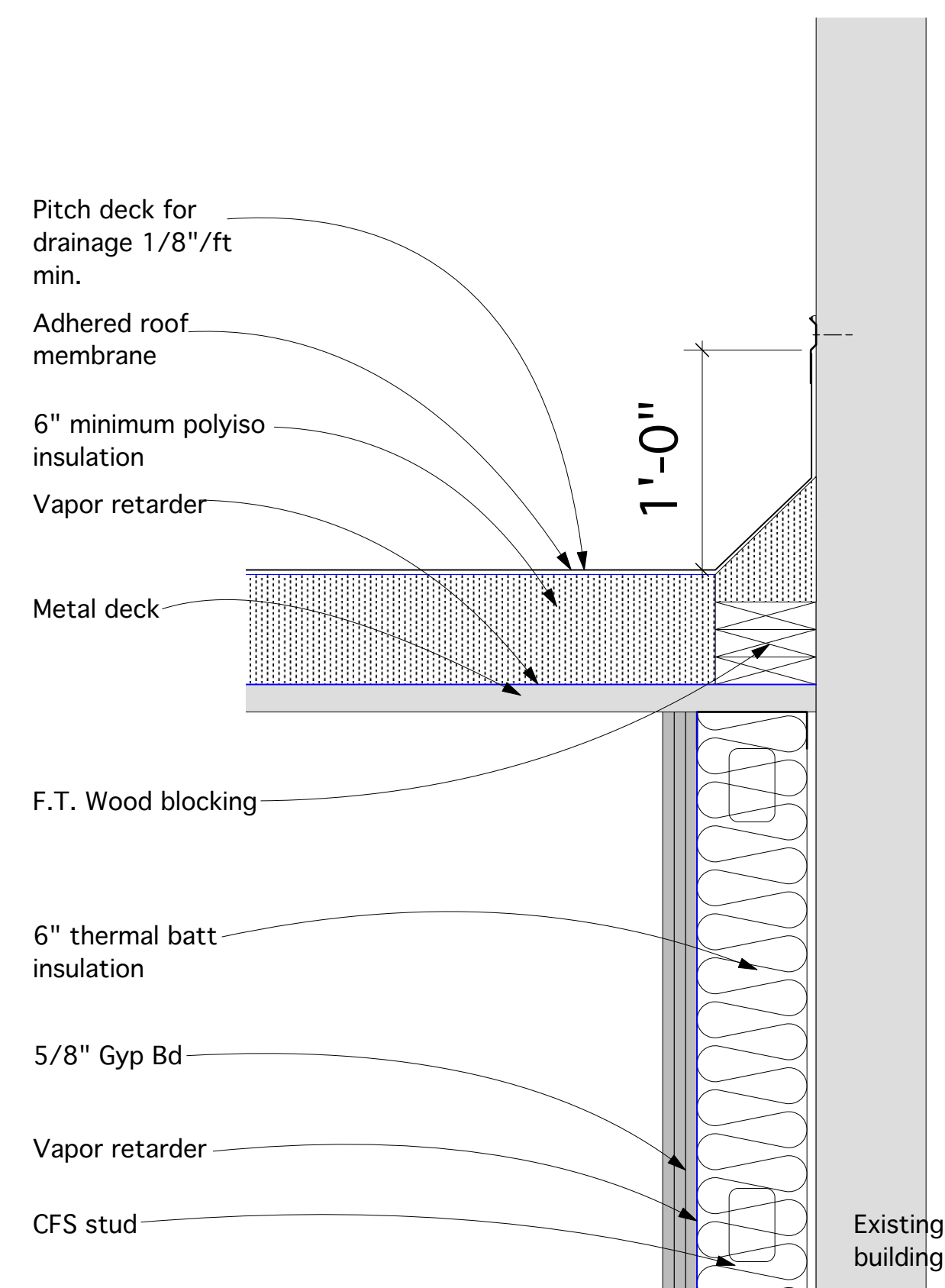
6
A4.0



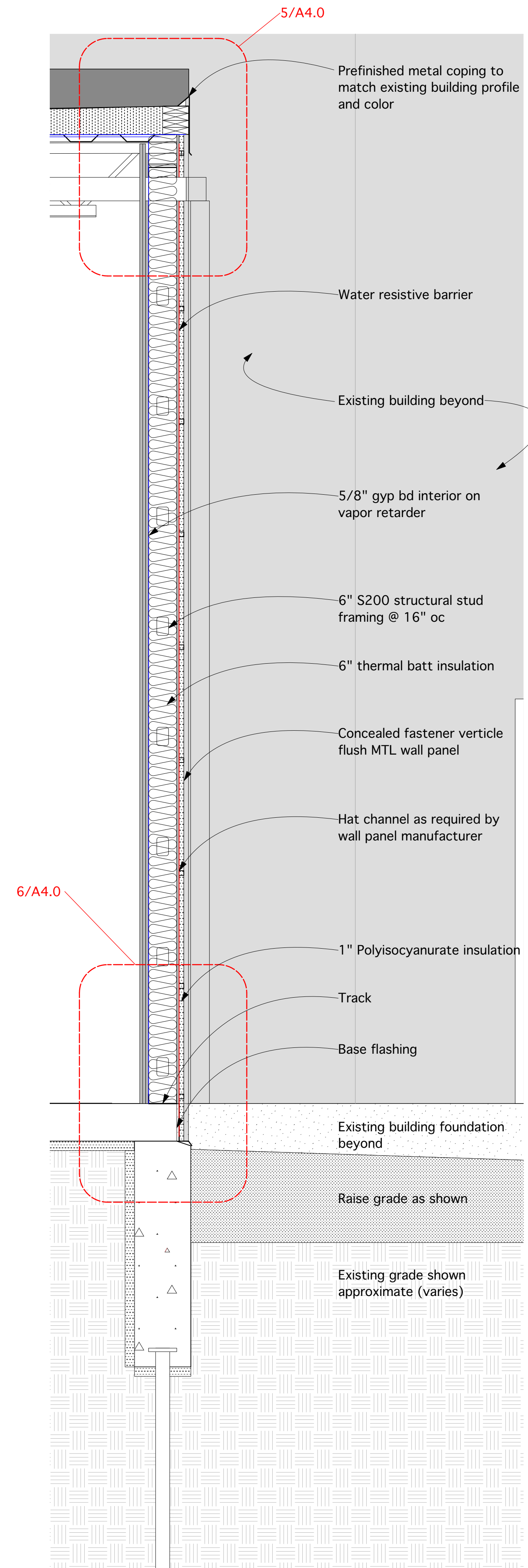
3
A4.0

Section - Looking North

1/4" = 1'-0"



2
A4.0



1
A4.0

**Michael Garber
Architecture LLC**

**855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290**

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation - Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE _____

9/8/2025

REVISÉ 10/14/2025

PROJECT NUMBER

193124

SEAL

SHEET TITLE

Sections

SHEET NUMBER

A4.0

HELICAL PIER LOAD SCHEDULE	
MARK	AXIAL LOAD (UNFACTORED)
A	20 KIPS
B	25 KIPS
C	50 KIPS
D	60 KIPS

DESIGN CRITERIA

PERFORM ALL CONSTRUCTION IN CONFORMANCE WITH THE BUILDING AND DESIGN CODES REFERENCED WITHIN THESE DOCUMENTS. THE PROJECT DOCUMENTS REFER TO THE FOLLOWING CODES AND STANDARDS, UNO:

WISCONSIN COMMERCIAL BUILDING CODE, 2018:
INTERNATIONAL BUILDING CODE (IBC), 2015

STRUCTURAL CONCRETE: "BUILDING CODE
REQUIREMENTS FOR STRUCTURAL CONCRETE"
THE AMERICAN CONCRETE INSTITUTE (ACI 318-14)

DESIGN LIVE LOADS

ROOF LOADING	
LIVE LOAD	20 PSF
GROUND SNOW LOAD (Pg)	30 PSF
ROOF SLOPE FACTOR (Cs)	1.0
EXPOSURE FACTOR (Ce)	1.0
IMPORTANCE FACTOR (Is)	1.1
THERMAL FACTOR (Ct)	1.0
ROOF SNOW LOAD (Pf)	23.1 PSF
ROOF SNOW DRIFT LOAD (Pd)	19.33 PSF
FLOOR LOADING	
LIVE LOAD (PLUS EQUIPMENT)	60 PSF
WIND LOADING	
BASIC WIND SPEED (3-SECOND GUST)	120 MPH
EXPOSURE CATEGORY	B
EXPOSURE FACTOR (Cw)	1.0
EXTERIOR ZONE	14 PSF
INTERIOR ZONE	10 PSF
EARTHQUAKE	
SITE CLASS	D
IMPORTANCE FACTOR (Ie)	1.25
SEISMIC DESIGN CATEGORY	I
SEISMIC DESIGN CATEGORY	B
LATERAL EARTH PRESSURE (ACTIVE)	
	40 PSF/FT

DESIGN STRESSES

CAST-IN-PLACE CONCRETE	
GRADE BEAMS	f'c = 4,000 PSI
SLAB-ON-GRADE	f'c = 4,000 PSI
REINFORCEMENT	
TIES, STIRRUPS, FIELD BENT BARS	Fy = 60,000 PSI
WELDED WIRE FABRIC	Fy = 65,000 PSI
TYPICAL	Fy = 60,000 PSI

Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
8/29/2025

PROJECT NUMBER
193124

SEAL

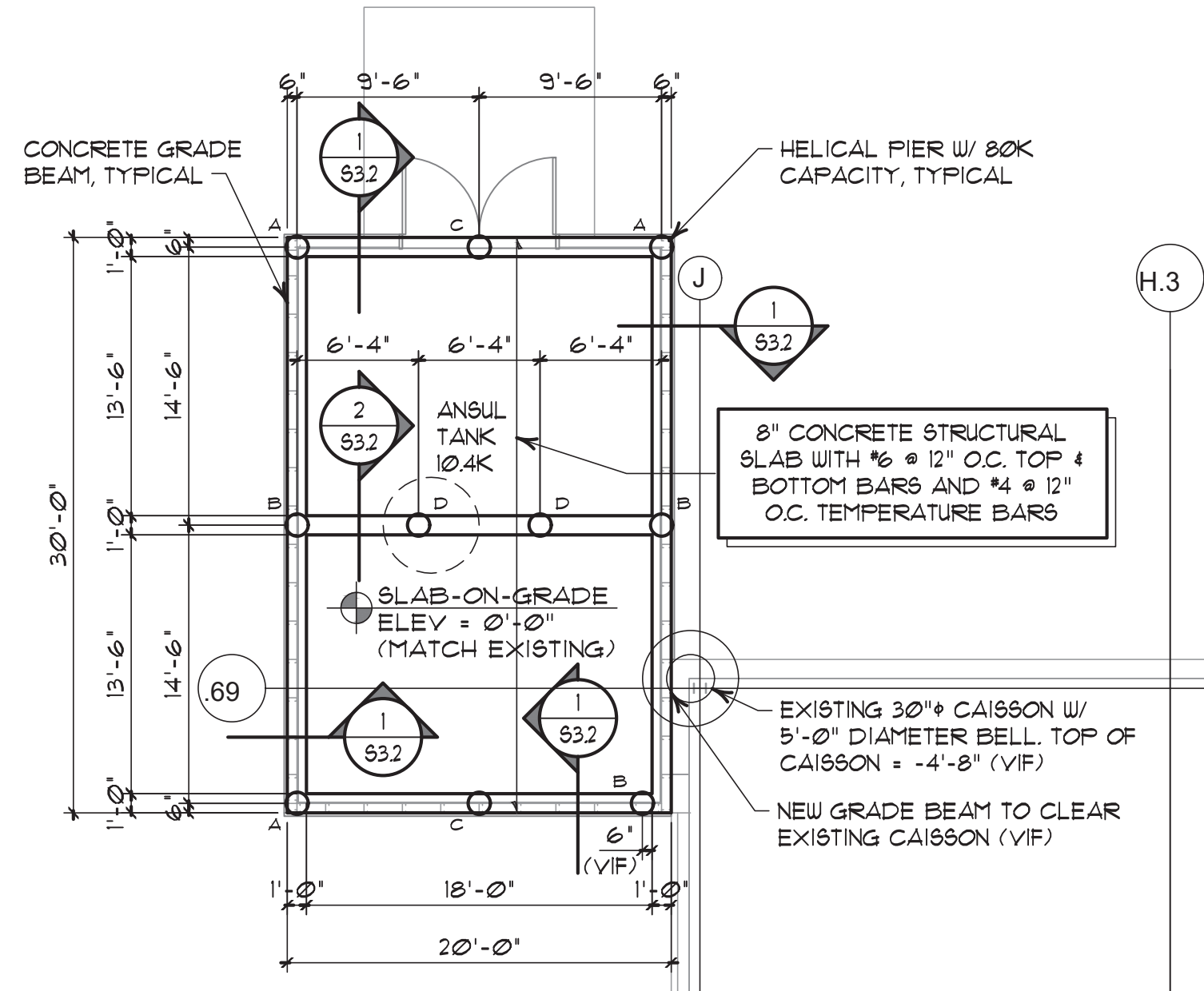


SHEET TITLE

Foundation Plan

SHEET NUMBER

S1.0



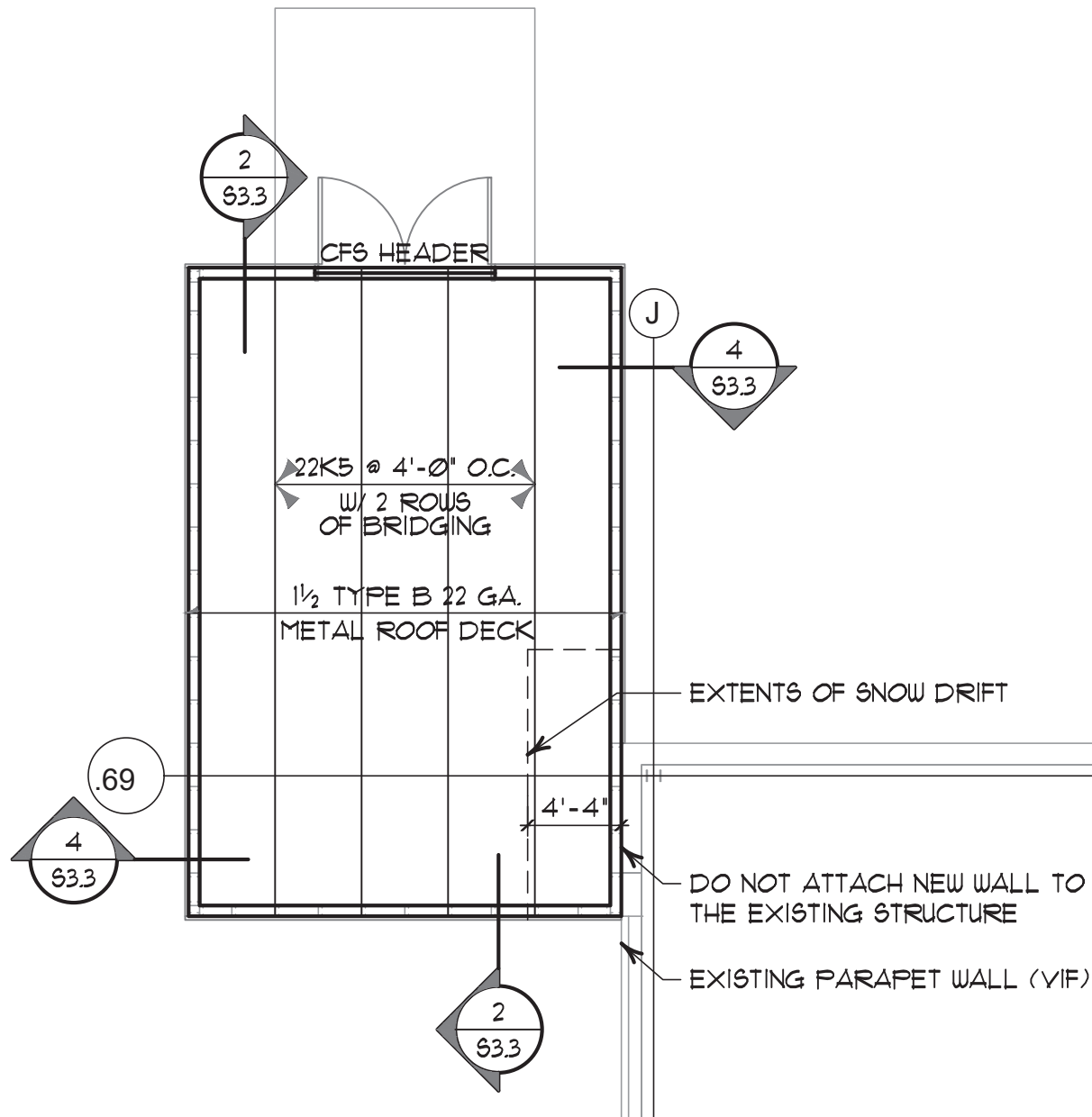
1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



1

ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



DELEGATED DESIGN ITEMS

THE CONTRACTOR SHALL EMPLOY OR RETAIN A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN TO DESIGN AND DETAIL DELEGATED DESIGN ITEMS TO MEET THE PERFORMANCE AND DESIGN CRITERIA ESTABLISHED AS PART OF THE BASE BUILDING STRUCTURE INDICATED IN THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL FORWARD THE REVIEWED DELEGATED DESIGN DOCUMENTS TO THE BUILDING OFFICIAL, ARCHITECT AND ENGINEER OF RECORD WITH NOTATIONS FROM THE DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE AND THE CONTRACTORS INDICATING THAT THE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND ARE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DELEGATED DESIGN ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL, ARCHITECT AND ENGINEER OF RECORD.

DELEGATED DESIGN ITEMS INCLUDED, BUT NOT LIMITED TO:

- COLD FORMED STEEL FRAMING
- STAIRS AND RAILINGS
- HELICAL PIERS

STEEL ROOF DECK

METAL ROOF DECK SHALL BE GALVANIZED OR PAINTED EXCEPT WHERE GALVANIZING IS SPECIFICALLY REQUIRED. GALVANIZED SHEET STEEL SHALL CONFORM TO ASTM A446 GRADE A AND ASTM A525 WITH A MINIMUM G30 COATING UNLESS OTHERWISE NOTED. SHEET STEEL TO BE PAINTED SHALL CONFORM TO ASTM A611 GRADE C.

DECK, ACCESSORIES, AND ATTACHMENTS SHALL CONFORM TO "STEEL DECK INSTITUTE SPECIFICATIONS" (LATEST EDITION).

STEEL DECK SHALL BE PLACED SUCH THAT EACH SHEET IS IN A THREE SPAN CONDITION (UNLESS NOTED OTHERWISE ON PLANS)

DECK TYPE: COMPLY WITH SDI "ROOF-DECK SPECIFICATIONS," OF METAL THICKNESS, WIDTH AND DEPTH INDICATED. SEE PLAN.

DECK ATTACHMENT: SEE APPLICABLE DETAILS AND SPECIFICATIONS. ATTACH DECK 6" ON CENTER ALONG PERIMETER WALLS AND END LAPS. MECHANICAL FASTENERS TO BE ONE OF THE FOLLOWING: TEKS SELF-DRILLING FASTENERS BY ITW BUILDEX, HILTI ENKK FASTENERS OR PNUEUTEK, INC. FASTENER SYSTEM.

FOR OPENING LESS THAN 10" IN DIAMETER, PROVIDE A 22 GAUGE COVERPLATE, 6"X24", EACH SIDE PERPENDICULAR TO DECK SPAN.

DO NOT SUSPEND POINT LOADS FROM ROOF DECK EXCEPT FOR HANGERS FOR SUSPENDED CEILINGS.

Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

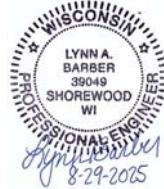
CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
8/29/2025

PROJECT NUMBER
193124

SEAL



SHEET TITLE

Roof Framing Plan

SHEET NUMBER

S1.1

REINFORCED CONCRETE

ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315 LATEST EDITION)".

ALL CONCRETE SHALL BE STONE OR GRAVEL CONCRETE TO TEST AS REQUIRED IN STANDARD 6"X12" CYLINDERS AT 28 DAYS.

REINFORCING STEEL SHALL BE OF ASTM GRADE REQUIRED WITH DEFORMATIONS COMPLYING WITH ASTM A615 LATEST EDITION. REINFORCING STEEL SHALL CLEARLY INDICATE THE GRADE OF STEEL.

SPLICES IN CONTINUOUS REINFORCING, WALL BARS, AND DOWELS SHALL BE LAPPED 30 DIAMETERS. OTHER LAPPED SPLICES SHALL BE PERMITTED ONLY WHERE SHOWN AND THE LENGTH OF LAP SHALL BE 36 BAR DIAMETERS. IN GROUPS OF PARALLEL BARS, SPLICES SHALL BE STAGGERED.

TERMINATE NON-CONTINUOUS BARS IN ACCORDANCE WITH ACI BY A HOOK IF REQUIRED EMBEDMENT CANNOT BE OBTAINED.

WHERE REINFORCING IS CALLED FOR A CERTAIN PORTION OF THE BUILDING, IT SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING, UNLESS OTHERWISE SHOWN.

PROVIDE BOLSTERS, CHAIRS, SPACERS AND OTHER DEVICES FOR SPACING, SUPPORTING AND FASTENING REINFORCING BARS IN PLACE. ALL CONCRETE ACCESSORIES SUCH AS CHAIRS, TIES, ETC., THAT COME IN CONTACT WITH FORMWORK ON EXPOSED CONCRETE SHALL BE GALVANIZED OR PLASTIC COATED.

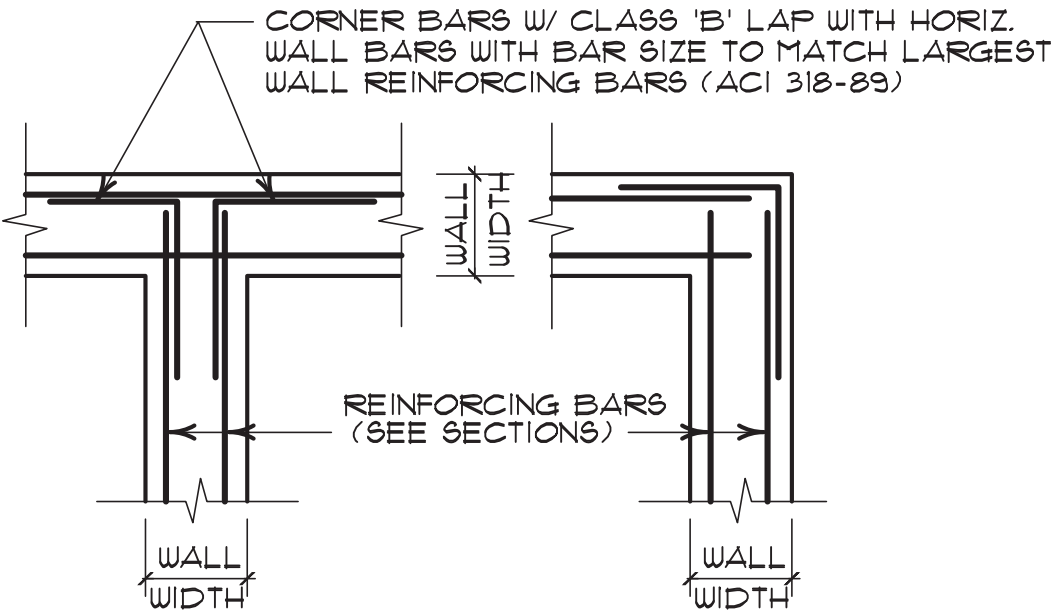
CEMENT SHALL CONFORM TO ASTM C150 TYPE I WITH MAXIMUM 3/4 INCH AGGREGATE SIZE. USE ONLY ONE BRAND OF CEMENT FOR ALL EXPOSED TO VIEW CONCRETE. AGGREGATE SHALL CONFORM TO ASTM C33 (REGULAR WEIGHT). ALL CONCRETE SHALL CONTAIN AN APPROVED WATER REDUCING ADMIXTURE. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.

COLD-WEATHER PLACEMENT TO COMPLY WITH ACI 306.1
HOT WEATHER PLACEMENT TO COMPLY WITH ACI 301

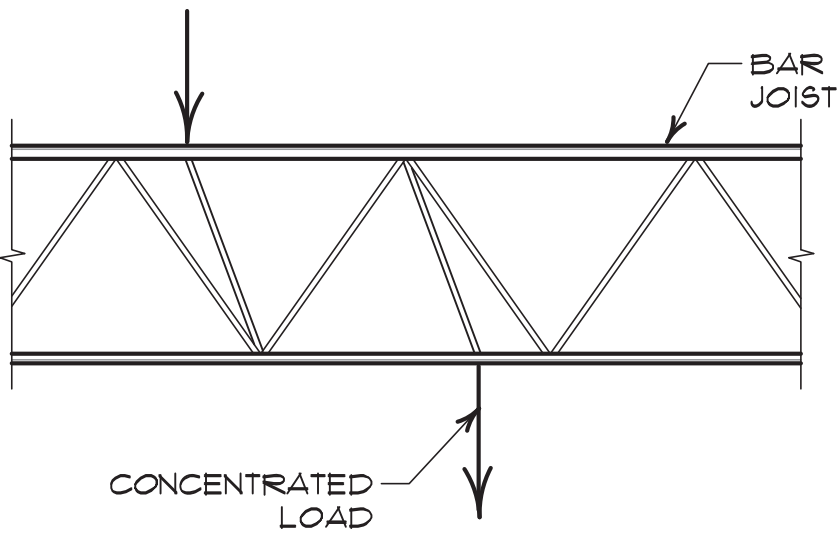
CONCRETE COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3"

CONCREE EXPOSED TO EARTH AND WEATHER: 1-1/2" UP THROUGH #5 BARS, 2" #6 THROUGH #8 BARS



1 **TYP. CORNER REINFORCING**
S3.0 SCALE: NONE



NOTE : JOIST CHORDS ARE NOT DESIGNED FOR CONCENTRATED LOADS. EITHER PLACE LOADS AT PANEL POINTS OR FIELD WELD AN EXTRA MEMBER FROM POINT OF LOAD TO NEAREST PANEL POINT ON OPPOSITE CHORD

2 **BAR JOIST CHORD LOADING**
S3.0 SCALE: NONE

Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
8/29/2025

PROJECT NUMBER
193124

SEAL



SHEET TITLE

Notes/Details

SHEET NUMBER

S3.0

STEEL JOIST NOTES

OPEN WEB STEEL JOISTS SHALL CONFORM TO THE STEEL JOIST INSTITUTE "STANDARD SPECIFICATIONS" (SJI) LATEST EDITION. JOIST MANUFACTURER'S CERTIFICATION THAT JOISTS COMPLY WITH SJI SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR RECORD. ENGINEERED AND CHECKED SHOP DRAWINGS AND JOIST LISTS INDICATING JOIST LAYOUT AND DETAILS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW.

ALL JOISTS SHALL REQUIRE CONTINUOUS BRIDGING MEMBERS FASTENED DIRECTLY TO EACH JOIST. BRIDGING SHALL BE AS NOTED ON THE DRAWINGS OR NOT LESS THAN THAT REQUIRED BY THE SJI SPECIFICATIONS.

ALL ROOF JOISTS SHALL BE DESIGNED TO RESIST A NET UPWARD LOAD OF 14 PSF. PROVIDE ADDITIONAL BOTTOM CHORD BRIDGING AS REQUIRED TO COMPLY WITH THE STEEL JOIST INSTITUTE TECHNICAL DIGEST, "STRUCTURAL DESIGN OF STEEL JOIST ROOFS TO RESIST UPLIFT LOADS."

HANGING LOADS FROM THE JOISTS SHALL BE APPLIED ONLY AT PANEL POINTS AND ONLY WITH ACCEPTABLE JOIST HANGER DEVICES.

ALL JOISTS SHALL RECEIVE ON SHOP COAT OF PAINT AFTER 100 PERCENT VISUAL INSPECTION.

THE ENDS OF ALL BRIDGING SHALL BE DIAGONAL AND PROPERLY ANCHORED.

TOP CHORD JOIST EXTENSIONS SHALL BE DESIGNED BY THE JOIST MANUFACTURER TO SUPPORT THE UNIFORM LOAD FOR THE SPAN OF THE JOIST UNLESS NOTED OTHERWISE.

STABILIZE BOTTOM CHORD OF JOISTS AT COLUMN LOCATIONS PER OSHA REQUIREMENTS. COORDINATE STABILIZER PLATE DETAILS WITH STRUCTURAL STEEL FABRICATOR.

JOIST MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW.

SHOP DRAWINGS TO INCLUDE LAYOUT, DESIGNATION, NUMBER, TYPE, LOCATION AND SPACING OF JOISTS. INCLUDE JOINING AND ANCHORAGE DETAILS, BRACING, BRIDGING, AND JOIST ACCESSORIES± SPLICE AND CONNECTION LOCATIONS AND DETAILS± AND ATTACHMENTS TO OTHER CONSTRUCTION. INDICATE LOCATIONS AND DETAILS OF BEARING PLATES TO BE EMBEDDED IN OTHER CONSTRUCTION.

STRUCTURAL PERFORMANCE: PROVIDE SPECIAL JOISTS AND CONNECTIONS CAPABLE OF WITHSTANDING DESIGN LOADS INDICATED. USE ASD.

COLD FORMED STEEL NOTES

ALL STUD AND JOIST FRAMING MEMBERS, RUNNERS, END TRACKS, BRIDGING AND DIAGONAL BRACING SHALL BE OF THE TYPE, SIZE AND GAUGE SHOWN ON THE PLANS WITH MINIMUM STEEL STRENGTH AND SECTION PROPERTIES AS MANUFACTURED BY UNITED STATES GYPSUM COMPANY. ANY ALTERNATIVE SHALL BE EQUAL OR BETTER AND SHALL BE APPROVED BY THE ENGINEER.

ALL COLD FORMED STEEL FRAMING SHALL CONFORM TO THE AISI SPECIFICATION (LATEST EDITION) AND BE WELDED IN ACCORDANCE WITH AWS D1.3.

SUBMIT STRUCTURAL DESIGN WITH SUPPORTING STAMPED CALCULATIONS, DETAILS, CONNECTIONS AND LAYOUT PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN WISCONSIN. MEMBER SIZES SHOWN ARE MINIMUM AND SHALL BE INCREASED AS REQUIRED BY DESIGN. ALL CONNECTIONS SHALL CONFORM TO MANUFACTURER'S REQUIREMENTS. ENGINEERING TO INCLUDE SHEAR WALL DESIGN WITH MATERIALS INDICATED ON THE ARCHITECTURAL DRAWINGS.

SHOP DRAWINGS SHALL BEAR THE NAME, ADDRESS AND PHONE NUMBER OF THE STEEL STUD SYSTEM DESIGNER. SHOP DRAWINGS MUST CONTAIN BUILDING ELEVATIONS AND ALL SECTIONS NECESSARY TO DETAIL THIS WORK.

ALL EXTERIOR MEMBERS SHALL BE 18 GA. OR HEAVIER AND MEET THE MINIMUM REQUIREMENTS OF ASTM A446, GRADE D WITH A MINIMUM YIELD STRENGTH OF 40,000 PSI. MAXIMUM SPACING = 16".

ALL TRACKS, BRIDGING AND ACCESSORIES SHALL MEET THE REQUIREMENTS OF ASTM A446, GRADE A WITH A MINIMUM YIELD STRENGTH OF 33,000 PSI.

ALL MATERIAL SHALL HAVE A MINIMUM G60 GALVANIZED COATING MEETING THE REQUIREMENTS OF ASTM A525.

FRAMING SHALL BE DESIGNED FOR L/120 DEFLECTION BASED ON STUD ACTING ALONE FOR BRICK AND L/360 DEFLECTION FOR OTHER CLADDING MATERIALS.

PROVIDE BRIDGING NOT TO EXCEED 5'-0" ON CENTER FOR NON-BEARING WALLS AND 3'-4" ON CENTER FOR BEARING WALLS.

CONTINUOUS BRIDGING SHALL BE INSTALLED OVER ENTIRE LENGTH OF BUILDING INCLUDING THROUGH DOORWAYS AND SHALL REMAIN IN PLACE UNTIL DRYWALL IS INSTALLED.

Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
8/29/2025

PROJECT NUMBER
193124

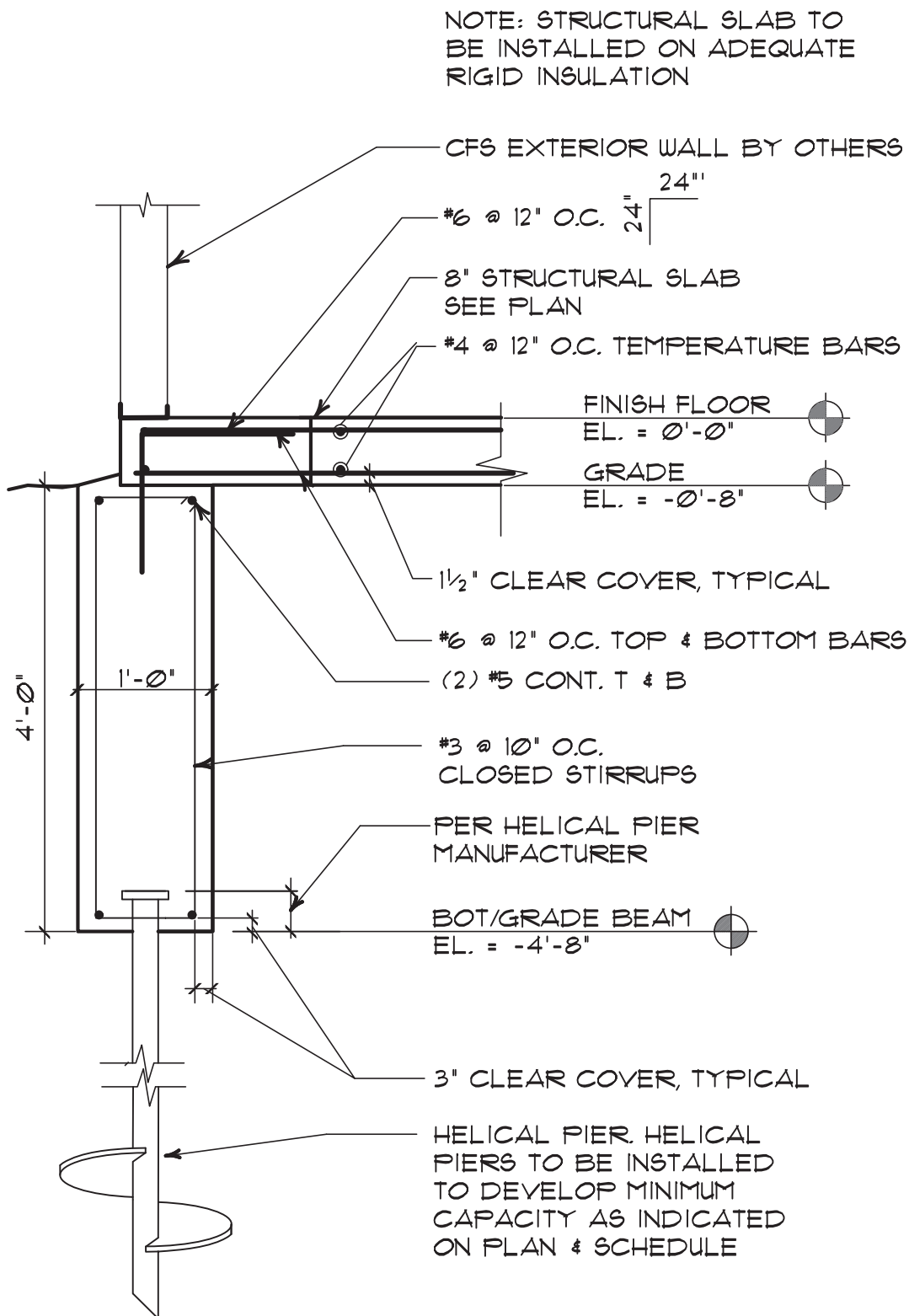


SHEET TITLE

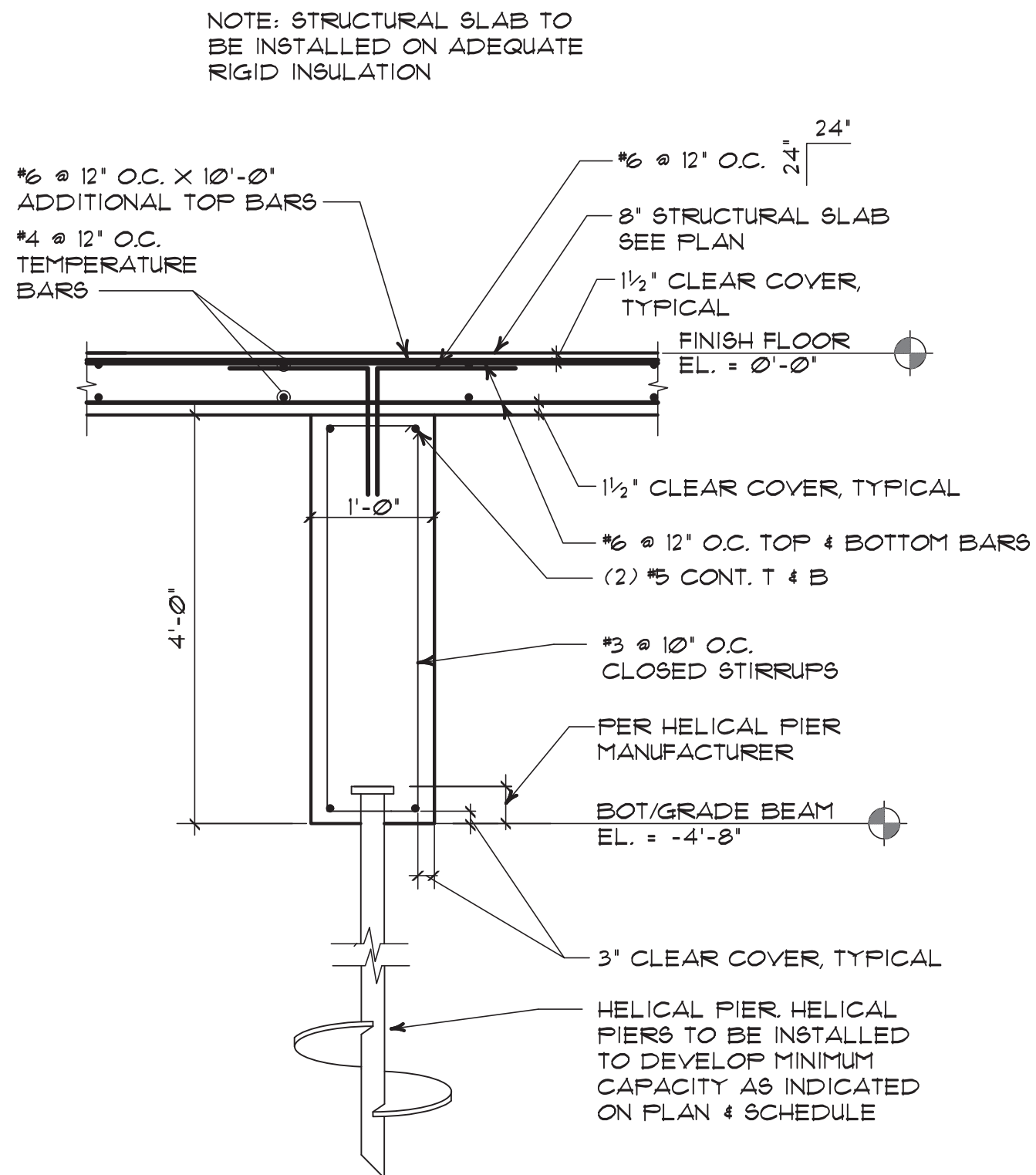
Notes

SHEET NUMBER

S3.1



1 PERIMETER GRADE BEAM
S3.2 SCALE: NONE



2 INTERIOR GRADE BEAM
S3.2 SCALE: NONE

Michael Garber
Architecture LLC

855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290

email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
8/29/2025

PROJECT NUMBER
193124

SEAL

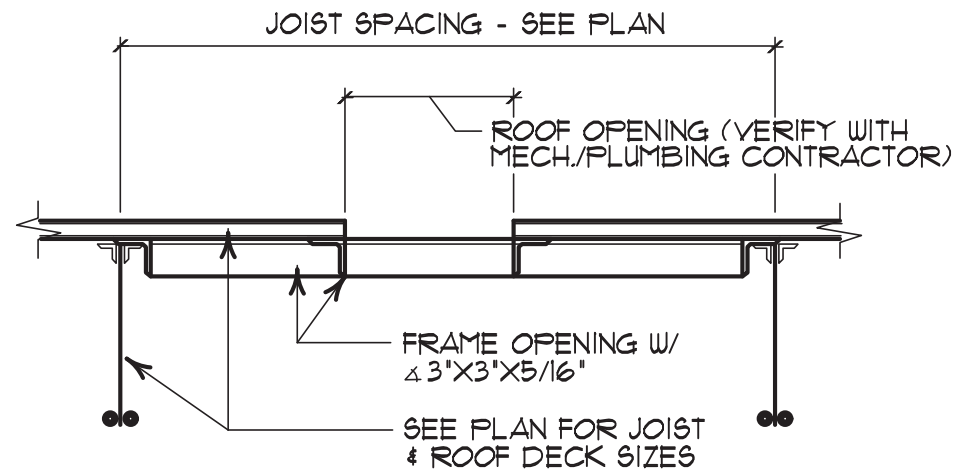


SHEET TITLE

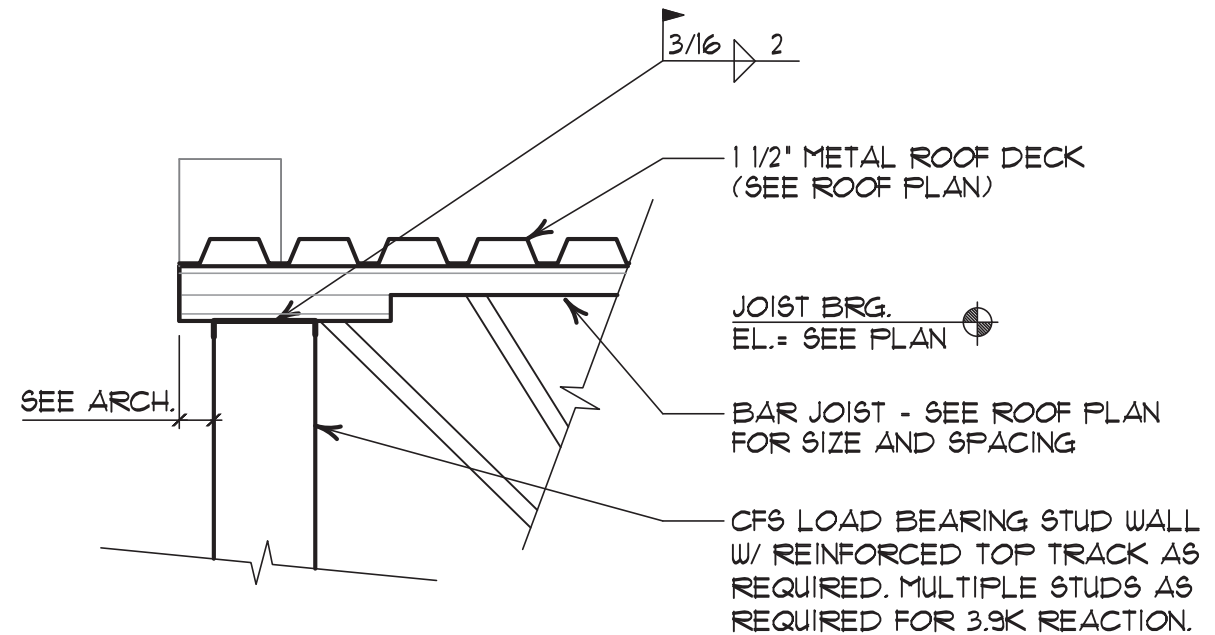
Details

SHEET NUMBER

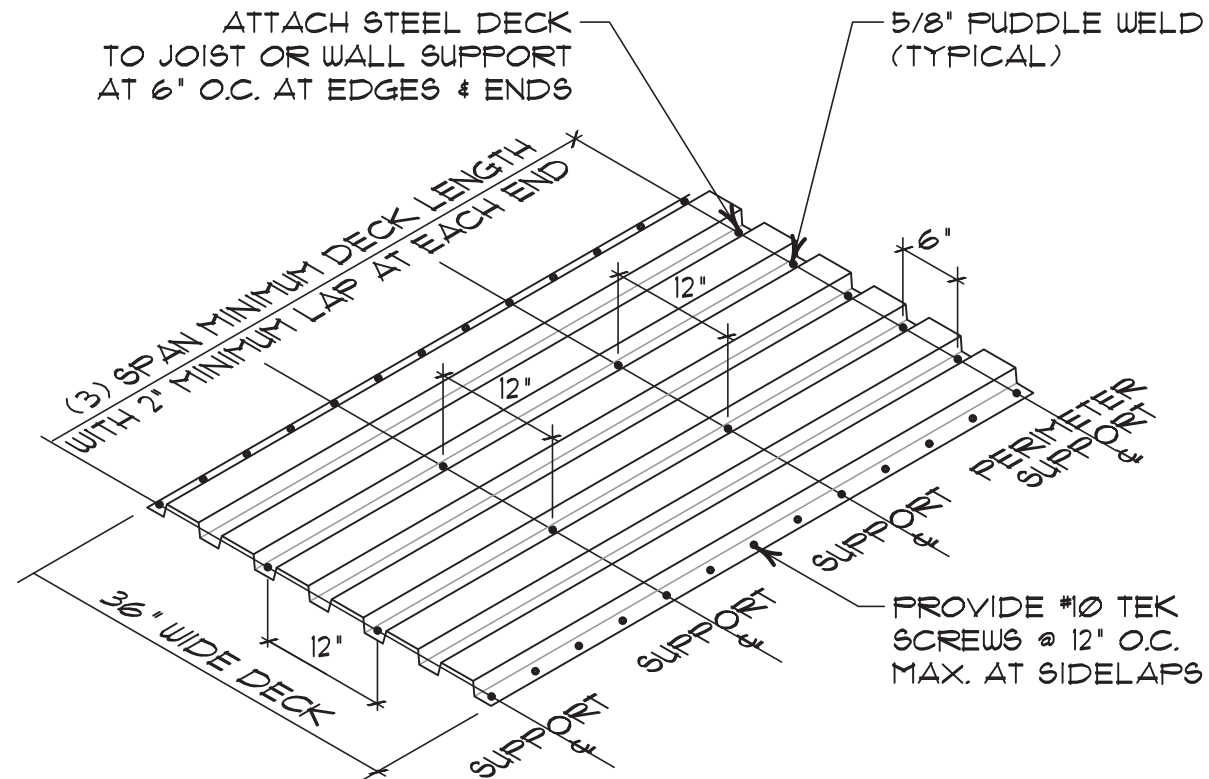
S3.2



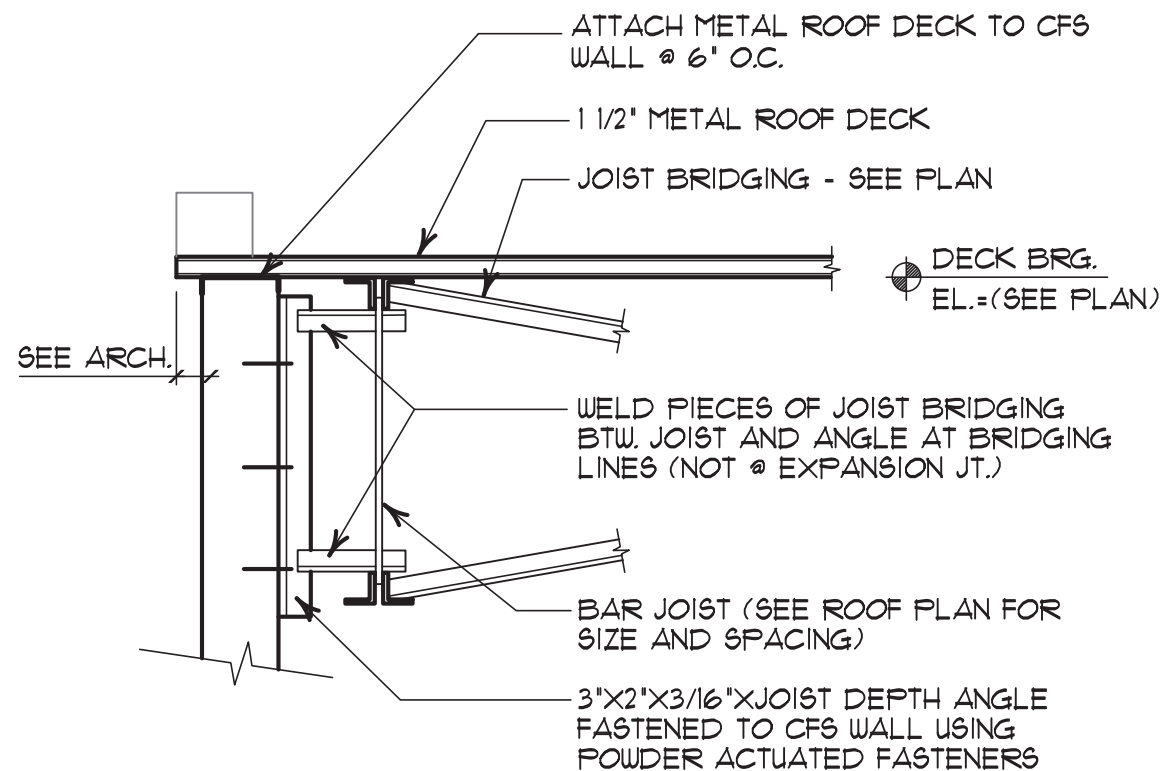
1
S3.3 **TYPICAL FRAMING @ ROOF OPENINGS**
SCALE: NONE



2
S3.3 **JOIST BEARING ON CFS STUD WALL**
SCALE: NONE



3
S3.3 **METAL DECK FASTENING DETAIL**
SCALE: NONE



4
S3.3 **JOIST BRIDGING TERMINATION**
SCALE: NONE

Michael Garber
Architecture LLC
855 East Birch Avenue
Whitefish Bay, Wisconsin
53217
tel: 414.748.3290
email:
mikegarber@wi.rr.com

PROJECT

Brady Corporation -
Fire Pump Room

2230 W Florist Ave,
Glendale, WI 53209

OWNER

Brady Corporation

2230 W Florist Ave,
Glendale, WI 53209

CONTRACTOR

Selzer-Ornst
Construction, LLC
6222 W State St.
Milwaukee, WI 53213

DATE
8/29/2025

PROJECT NUMBER
193124

SEAL



SHEET TITLE

Details

SHEET NUMBER

S3.3

Michael Garber Architecture LLC

OFFICE
855 E Birch Ave
Whitefish Bay, WI 53217

PHONE
414.748.3290

EMAIL
mikegarber@wi.rr.com

December 12th, 2025

Benjamin Polony
Assistant to the City Administrator
5909 N Milwaukee River Parkway
Glendale WI 53209
www.glendalewi.gov

Mr Polony

The following is regarding the application for zoning variance for the Fire Pump Room project at Brady Corporation - Florist Ave. 2230 W Florist Ave.

The unnecessary hardship for the location of the Fire Pump Room is as follows.

The room is required for the fire sprinkler foam fire pumps. This is a system that is required for some of the processes and materials used in the Brady Corp manufacturing building. The new PFAS free fire foams require a pump system. This equipment mixes the stored chemical with water from the fire sprinkler main. The room is located at the single 10" fire main into the building which is optimal for the performance of the foam system.

The existing sprinkler risers are also located at this corner of the building and will be utilized for the foam system.

The room is at the minimum dimensions that the system engineers require for the equipment and servicing of the equipment. The room is proposed to extend 6.5' into the 25' building setback. The south face of the fire pump room will be 30.2' from the face of the curb.

The west side of the building is fully occupied by manufacturing process equipment which cannot be relocated without a major disruption in manufacturing, performance and cost.

In Summary the Fire Pump room is located where proposed due to the following reasons:

The existing fire sprinkler main is located at the fire pump room and system performance is optimized in this location.

The existing sprinkler risers and distribution piping for the building is located at the corner of the existing building directly adjacent to the fire pump room.

The west side of the building is occupied by process equipment and the fire pump room would not fit on the west side of the building.

If you have questions or need clarification regarding this proposal please contact me.

Thank you

Mike Garber
MGA LLC