

CITY OF GLENDALE
5909 North Milwaukee River Parkway
Glendale, Wisconsin 53209

Due to rising cases of COVID-19 this meeting will be conducted via Zoom

Join Zoom Meeting

<https://us02web.zoom.us/j/83280934526>

Meeting ID: 832 8093 4526

Dial by your location

+1 312 626 6799 US (Chicago)

AGENDA—ARCHITECTURE REVIEW BOARD MEETING

Thursday, March 18, 2021

4:00 p.m.

1. Roll Call and Pledge of Allegiance.
2. Adoption of Minutes of Meeting held January 21, 2021.
3. New Business:
 - a) Residence, Vacant Lot, 7340 North Pierron Road, Robert and Dina Abercrombie. Review and approve proposed residence to be built on vacant lot adjacent to the Milwaukee River.
4. Adjournment.

The Regular Architecture Review Board Meeting is NOT a meeting of the Glendale Common Council. Although a majority of Council Members may be present, Council action will not take place.

Upon reasonable notice, efforts will be made to accommodate the needs of persons with disabilities.



CITY OF GLENDALE

5909 North Milwaukee River Parkway
Glendale, Wisconsin 53209-3815
(414) 228-1704

TO: Tod Doeblor, Building Inspector

FROM: Todd Stuebe, Director of Community Development

DATE: Friday, January 22, 2021

RE: **Architectural Review Board Meeting Items: Thursday, January 21, 2021**

A Web Link to the Architecture Review Board (ARB) project plan review documents for [2021-01](#), which was reviewed by the Architectural Review Board (ARB) Thursday, January 21, 2021, follows below:

https://www.glendale-wi.org/AgendaCenter/ViewFile/Agenda/_01212021-579

Item 2021-01 was reviewed and approved by the ARB as presented.

The meeting was chaired by Alderman Richard Wiese. ARB Members present included Christopher August, Hope Liu, Rock Ridolfi, and Walter Wilson. Also, in attendance were City of Glendale City Administrator Rachel Safstrom, Director of Community Development Todd Stuebe, City Attorney John Fuchs, Building Inspector Tod Doeblor, Planning Assistant/Floodplain Manager Elias Vareldzis, 5th District Alderman Steve Schmelzling, applicant Aaron Karan and applicant legal counsel Michael Best & Friedrich Attorney Thomas Gartner. There were not any other persons present.

Building Permits may be finalized for [Item 2021-01](#), per requirements included in the decisions that follow below, Zoning Code and Building Code requirements.

2021-01 Continued Review and Approval of Item 2020-10
2735 West Green Tree Road
Aharon A. Karan
Improvement to Residence: Add to Detached Garage

Continued from the Architecture Review Board meeting of Thursday, October 15, 2020. Aaron (Aharon) Karan seeks Architecture Review Board (ARB) grant of Building Permit approval to add to the existing detached garage located at 2735 West Green Tree Road. The proposed location, architectural style, and materials to be utilized are included with the attached materials. The project plan is compliant with the Zoning Code requirements of the R-2 Residence District.

Chairman Wiese asked staff to summarize the direction of the ARB from the proceedings of the October 15, 2020, ARB meeting, as he was not present for that meeting. Community Development Director Stuebe reported that at the ARB meeting of October 15, 2020, the directive of the ARB was to determine that the project was eligible for a Building Permit as relates to the project being inspectable due to it already being substantially completed in terms of foundation and footings, framing, walls, roof, siding, etcetera, and also that the project drainage and stormwater management determined to be in compliance with City of Glendale requirements for same. Director of Community Development Todd Stuebe reported that Building Inspector had determined that the project was inspectable and, upon completing the inspection, concluded that the completed work is in compliance with the Building Code (Refer to finding in the included email transmittal), and that the City engineering consultant Clark-Dietz reviewed the project and concluded that the project drainage and stormwater management were in compliance with City of Glendale drainage and stormwater management requirements with the only recommendation being that an extension be added to the center downspout located on the east side of the building to direct the flow of water more to south rather than directly east (Refer to finding in the included email transmittal). Mr. Stuebe stated that based on the findings of the Building Inspector and City Engineer the project is eligible for a Building Permit and Building Permit ready, and now ready for continued review by the Architecture Review Board.

ARB Member Christopher August stated that the neighbor issues that he had noted from the neighbors present for the October 15, 2020, meeting included the lighting scheme, the size and character of placement of the structure, that the structure was inconsistent with other properties, the concern for what would be stored inside of the building and for what purpose. Chairman Wiese stated that the issue of what would be stored inside of the garage and for what purpose was not within the purview of the ARB and that the scope of the ARB review is the fit of the structure

to the area neighborhood and that it is permitted and built per the approved project plans.

City Attorney John Fuchs stated that all of the permit fees were received for issuance of the Building Permit. Alderman Steve Schmelzling asked if there was a neighbor present at the ZOOM Virtual Meeting or otherwise via the phone with questions and concerns, however, it was verified that none of the neighbors were present either via the ZOOM Virtual Meeting or via telephone with Alderman Schmelzling or otherwise.

There was further discussion by the Members of the ARB as follows. ARB Member Hope Liu asked about permitting post-built, and whether there were any other options, and that it seemed that the two options were yes, it is O.K., or no it is not. City Attorney John Fuchs stated that there were some changes made that were undoing some things and that there were some penalties involved but it was not clear why the ARB might not approve. Chairman Wiese shared that comments that he received related to the overall size not being in keeping with the overall neighborhood and the building being highly visible, particularly the color scheme, perhaps not so red. Aaron Karan offered that he is available to answer any questions. Thomas Gartner introduced himself as Mr. Karan's legal counsel with Michael Best & Friedrich. There was an inquiry as to whether external lighting was within the purview of the ARB. It was stated that it had been found that nobody called in, and that there were not concerns being expressed passionately. Mr. Karan stated that if there were any concerns with lighting to let them know, and that there were motion sensors that are completely controllable, and that he had set them down such that they only go on when there is motion, that they are facing straight down, and that the motion sensor was set at the lowest level and that the light would be on for three minutes, that the lighting stays down, and is the lightest setting. Chairman Wiese asked what staff would do if there were found to be any identified concerns as relates to the Code. Mr. Stuebe stated that the City of Glendale does have lighting regulations that relate to the light source not being directly visible or producing glare and spraying light all around the neighborhood, as well as lighting illumination level limits, and that if staff observed such Code issues or concerns would bring them to the attention of the property owner. Mr. Karan stated that it is a large property and that the building is 30 feet from the property line and that as relates to any light or water it is quite a distance away.

Chairman Wiese asked the ARB Members to share any concerns with the overall design and properly fitting into the neighborhood. ARB Member Christopher August stated that he can understand the gist of the issue, if people were upset or did not really care he would want to take that into consideration, and observed that there is not anybody here, and that he takes that as not being any concern. ARB

Member Rock Ridolfi stated that he does not have any concerns as long as permitting and safety are all clear. ARB Member Hope Liu stated that as long as the neighbors are accepting of the building project that she is okay. Chairman Wiese observed that the neighbors are not challenging. ARB Member Walter Wilson stated that he mostly agrees with ARB Member Christopher August and wants to say that it is fine to approve, and that if somebody wanted to speak, they are not present, and that with the absence of the neighbors, it is fine to approve, and asked about what the notification was for the meeting. Chairman Wiese stated that the neighbor from the property located at the intersection of West Green Tree Road and North Range Line Road had contacted him and that he was well aware of the ARB meeting and was unfortunately not present. ARB Member Walter Wilson stated that under the circumstances then move ahead. Chairman Wiese reiterated that the neighbors are not challenging, that it is coming to us after the fact, and that they do not like to see projects ad hoc, to build a building, not get a permit, and that is challenging if you know the neighborhood.

Motion: Rock Ridolfi. Second: Hope Liu. (Walter Wilson tried to second, however, could not be heard until he unmuted his microphone). [Include recommendation of the City Engineer being that an extension be added to the center downspout located on the east side of the building to direct the flow of water more to south rather than directly east]. Motion carried unanimously.



SUBJECT: Architecture Review Board Agenda, Item 3a
Residence, Vacant Lot, 7340 North Pierron Road, Robert and Dina Abercrombie.
Review and approve proposed residence to be built on vacant lot adjacent to the Milwaukee River.

FROM: Todd M. Stuebe, Dir. of Community Development

MEETING DATE: March 18, 2021

FISCAL SUMMARY:

Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin Statutes:	N/A
Municipal Code:	Zoning Code Floodplain Zoning

BACKGROUND/ANALYSIS:

Robert and Dina Abercrombie propose to build a two-story residence on a vacant never before built upon parcel located at 7340 North Pierron Road adjacent to the Milwaukee River.

The project plan submittal materials are included in the Architecture Review Board materials. The project conforms with the requirements of the Glendale Zoning Code, R-3 Residence District.

Although the 7340 North Pierron Road property is more than one-third encumbered by 100-year Floodplain, the proposed residence is not located within the 100-year Floodplain. Grading and filling was initially proposed within the 100-year Floodplain and Floodway District, however, the property owner has decided not to pursue any fill or grading activity within the regulated Floodplain area. The Floodplain Review Memoranda is included with the ARB materials. A Side Grading Plan will be required that confirms the fill and grading plans for the site.

RECOMMENDATION:

Approve with any requirements established by the ARB, provide a Site Fill and Grading Plan, and per the requirements of the Floodplain Review Memoranda.

ACTION REQUESTED:

Approve the proposed project plans and issuance of a Building Permit.

ATTACHMENTS:

1. Project plans submitted for 7340 North Pierron Road.
2. Aerial Photograph (2020).
3. Floodplain Zoning Review Memoranda.



**City of Glendale
Floodplain Administration**

5909 North Milwaukee River Parkway
Glendale, Wisconsin 53209-3815
(414) 228-1770

Memorandum

To: Todd Stuebe – Director of the Community Development Department
From: Elias Vareldzis – Floodplain Administrator
Date: 3/12/2021
Re: 7340 N. Pierron Road – Proposed Single-Family Residence with Attached Garage

The attached plan has been reviewed for Floodplain development requirements and for conformance with various Federal, State, and Local regulations relating to development within the regulated floodplain and the City of Glendale's participation in the National Flood Insurance Program (NFIP).

Upon review of the FEMA issued Flood Insurance Rate Map, Panel 0043E, Map Number 55079C0043E dated September 26, 2008; it is my determination that part of the property at 7340 North Pierron Road **is located within the floodplain as indicated below:**

A significant portion of the property is located within the Regulatory Floodway as well as within the Regulatory Floodfringe portion of Zone AE of the SFHA (Special Flood Hazard Area), subject to inundation by a 1% annual chance flood. The Base Flood Elevation at this location is indicated as 640.16 feet. The western portion of the lot is of sufficient elevation to be located outside of the 100-year Regulatory Floodplain boundaries.

The scope of the project includes a **new two-story single-family residence with an attached garage**. These proposed structures are shown to be positioned in the western portion of the lot so as to be located ***outside*** of both the 100-year Floodplain and the Floodway and thus are not subject to Floodplain regulations.

Additional documentation is required to satisfy Floodplain review of the project. There are discrepancies between the Base Flood Elevation of the 100-year Floodplain indicated on FEMA's NFIP maps and the value given on the applicant's Plat of Survey, which indicates a BFE of 640.09 feet. Additionally, the submitted Plat of Survey and Site Plan should include the locations of both the 100-year Floodplain boundary **and** the Floodway boundary for reference. The Plat of Survey must also be signed and sealed by a Registered Land Surveyor. If any proposed development changes infringe upon the 100-year Floodplain, Ordinance Sections 13.2.5 and portions of 13.2.7 would apply to the project. If applicable, a site plan indicating both current elevations as well as any proposed grading changes utilizing fill is required.

Currently, more information must be submitted prior to full review and acceptance of this plan. This project is not approved at this time.

Note: Absolutely no deviation from the proposed plan or any alteration of existing grading contours/placement of fill may take place to alter topography at or within the 100-year Regulatory Floodplain boundary without first submitting for and obtaining proper review and approval from the Local Municipality, WDNR, and FEMA. Federal, State, and Local law severely restricts development and the use of fill within the Floodway.

Additional Considerations: Recommended Floodproofing

Even though the proposed single-family residence and attached garage are not located within the Regulatory 100-year Floodplain, they will be located in close proximity to it. Even though the structure is not within the Special Flood Hazard Area or subject to its regulations, the structures may still be subject to damage during the Base Flood and higher-magnitude floods. A structure with a subgrade basement adjacent to or near the floodplain may well be impacted by subsurface flooding brought on by surface floods.

It is **strongly recommended** that the property owner work with a registered Architect, Engineer or other floodproofing design professional to consider the implementation of strategies such as the following to mitigate flood risk:

- The subgrade foundational and supporting elements of the structures be constructed of flood-proof materials.
- Structures such as basement walls should be protected by floodproofing measures to the BFE such as reinforcing walls and floors to resist rupture or collapse caused by subsurface water pressure.
- Structural walls and floors should be watertight to the flood protection elevation so that the subsurface interior remains completely dry during flooding without human intervention.
- Placing essential utilities above the flood protection elevation.
- Installation of surface/subsurface drainage systems to relieve foundation walls and basement floor pressures in the event of ground saturation from floodwaters.
- Constructing waste treatment systems to prevent the entry of floodwaters.
- Installing cutoff valves on sewer lines or eliminating gravity flow basement drains.
- Confirmation from a registered Architect or Engineer that can certify the foundation construction and floodproofing measures as required by NR116.16 (not required for this project as the structure is not in the floodplain).

Regards,

Elias Vareldzis
Floodplain Administrator
CITY OF GLENDALE
Phone: 414-228-1770
Email: e.vareldzis@glendalewi.gov



Building Inspection Department
5909 N. Milwaukee River Parkway Glendale, WI 53209
Phone: (414) 228-1708
Email: inspections@glendale-wi.gov

BLDG - R
ONE & TWO FAMILY
PB ____ - ____

OWNER / PROJECT INFORMATION - Complete all areas

PROJECT ADDRESS:	7340 N Pierron Rd	☒ Single Family / Condo
Project Description:	Single Family House	☐ Two Family
Owner/Tenant Name:	Robert & Dina Abercrombie	Phone: (443) 804-9770
Owner/Tenant Address:	5699 N Center Park Way, Apart 510, Glendale, WI 53217	Email: dinahughes@msn.com rabercrombie.es@gmail.com
	City State Zip	

CONTRACTOR INFORMATION - Complete all areas

Company Name:	Emem Group LLC	Dwelling Contractor Cert. # DC-091900863
Company Address:	315 W Court Street, Suite 200 Milwaukee, WI 53212	Contractor Qualifier # DCQ-120700431
Contact Person:	Michael Emem	Estimated Cost \$ 375,000
Contact E-mail:	michael@emem-group.com	
Contact Phone:	(414) 659-0903 Office (414) 465-2808 Mobile	
	City State Zip	

SUPERVISING PROFESSIONAL INFORMATION - Complete all areas

Name and Firm:	Same as contractor	O ()
Arch./Eng. E-mail:		M ()

1 & 2 FAMILY - NEW BUILDING or ADDITION		FEE	UNIT	TOTAL
Base Fee		\$125.00		
Plus (Enter total square footage of building in Unit column)		\$0.20		
Early Start (Footing & Foundation ONLY)		\$125.00		
Plan Review - New Dwelling	☐	\$200.00	Check one and include in totals below. Do NOT add 40%	
Plan Review - Additional Dwelling Unit	☐	\$100.00	Check one and include in totals below. Do NOT add 40%	
1 & 2 FAMILY - ALTERATION, RENOVATION, or REPAIR				
Each Project - Based on per \$1,000.00 of project cost (Do NOT include plumbing, electrical & HVAC costs)		\$10.00		
Minimum Fee (Use if total above does not exceed minimum fee)		\$75.00		
Plan Review - Addition	☐	\$100.00	Check one and include in totals below. Do NOT add 40%	
Plan Review - Complex Alteration or Repair (>\$10,000.00 in total value)	☐	\$75.00	Check one and include in totals below. Do NOT add 40%	
Plan Review - Simple Alteration or Repair (<\$10,000.00 in total value)	☐	\$50.00	Check one and include in totals below. Do NOT add 40%	
1 & 2 FAMILY - ACCESSORY STRUCTURE or APPURTENANCE				
Detached Garage or Shed (>150 square feet ONLY)		\$75.00		
Plus (Enter total square footage of building in Unit column)		\$0.15		
Shed, Gazebo, or similar (<150 square feet ONLY)		\$50.00		
Deck, Porch, Balcony, Stoop, Steps, Ramp, etc. (Exterior ONLY)		\$75.00		
Fence (Includes New, Replacement or Repair over 42 inches in height)		\$50.00		
Pool or Spa - Above-ground		\$75.00		
Pool or Spa - In-ground		\$100.00		
Plan Review - Accessory Structure or Appurtenance (All of the above items require plan review)	☐	\$35.00	Check one and include in totals below. Do NOT add 40%	
1 & 2 FAMILY - MISCELLANEOUS				
Roofing, Siding, Soffit, Fascia, Window or Door Alteration (Includes Replacement or Repair of >25% of roof area)		\$60.00		
Miscellaneous Repair (Chimney re-build, Minor repairs, etc.)(Foundation repairs are under Alt., Renovation, or Repair above)		\$60.00		
Filling, Grading, Excavating		\$60.00		
Interior Demolition or Razing of Structure		\$75.00		
Plus (Enter total square footage of building in Unit column)		\$0.10		
Environmental Abatement (Asbestos / Lead / Mold / Soil)		\$75.00		
UST/AST Storage Tank (Installation or Removal)		\$110.00		
		Sub-Total		
Inspections are required before any work is concealed, when work is complete and PRIOR to ANY Occupancy or Use. Please allow at least 24 hours notice prior to requested inspection time and have permit number and address available when requesting inspections. Permit EXPIRES 18 months from date of issuance or where work has not commenced or has ceased for a period of 90 days. Up to Quadruple fees charged for failure to obtain permit. FINAL INSPECTIONS ARE MANDATORY - PENALTIES WILL BE CHARGED FOR FAILURE TO CALL FOR INSPECTIONS.		Penalty		
		40% Admin. Fee		
		Plan Review		
		TOTAL		

CONDITIONS OF APPROVAL

Applicant certifies that all information provided above is accurate. Applicant agrees to comply with all Municipal Ordinances and with the conditions of this permit and further understands that failure to comply with such ordinances or conditions of the permit may result in suspension or revocation of permit(s), denial of future permits, and/or other penalty. Neither the issuance of this permit, nor any inspections performed with respect to this permit, create any legal liability, express or implied, of the Department, Municipality, Agency or Inspector. Nothing about the issuance of this permit, nor the conduct of inspections, shall be construed as a service rendered to or on behalf of the applicant, or the owner or occupant of the premises, and such inspections and the issuance of this permit are for the sole use and benefit of the City of Glendale. No warranty, of any nature, express or implied, shall be inferred from the issuance of this permit.

Signature of Applicant: ME Date: 2/1/21

RECEIPT - FOR OFFICE USE ONLY

AMOUNT: \$	RECEIPT #:	CA / CC / CK / RCPT	DATE:	REC'D BY:
------------	------------	---------------------	-------	-----------

OWNER'S STATEMENT OF INTENT

Mr. & Mrs. Robert & Dina Abercrombie recently purchased the vacant parcel at 7340 N Pierron Rd to construct their permanent residence. Emem Group has been retained as the design builder for this new construction project. The owners prefer a contemporary style home that assimilates with the existing colonial homes in the neighborhood.

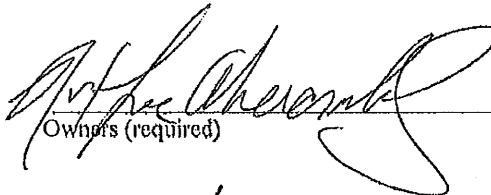
Signature Page

NOTICE

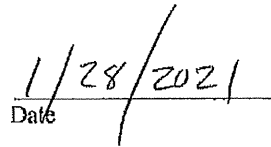
Project plans approved by the ARB are final. Any deviations from the ARB approved plans, no matter how minor, shall be discussed with the Inspection Department before implementing the change. If the Inspection Department deems the change to be substantial, the project will need to be resubmitted to the ARB as a new submittal. This will require a full resubmittal to the ARB, including all related fees.

Failure to follow the approved plans is a violation of the ARB approval and the subsequently issued permit. This violation may be subject to penalties including, but not limited to, a four times permit fee and/or citations, and may also require removal of the unapproved modifications.

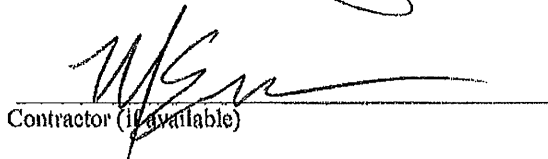
Additions, including 2nd story over an existing structure, shall conform to all Glendale Zoning Code requirements.



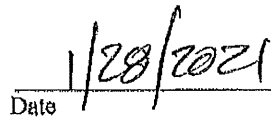
Owners (required)



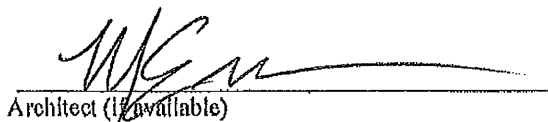
Date



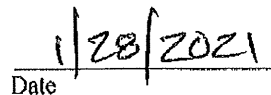
Contractor (if available)



Date



Architect (if available)



Date





7340 N PIERRON RD
"STREETSCAPE ELEVATION"

ABERCOMBIE RESIDENCE
7340 N PIERRON RD

EXTERIOR FINISHES



MAIN SIDING: JAMES HARDIE SMOOTH SIDING PANEL & HARDIPLANK SMOOTH LAP SIDING

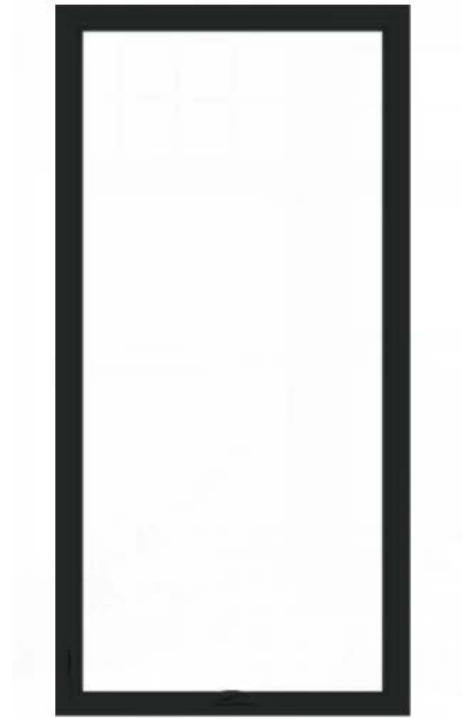
COLOR: GRAY SLATE



ACCENT SIDING: NEWTECH COMPOSITE LAP SIDING

COLOR: BRAZILIAN IPE

ABERCOMBIE RESIDENCE
7340 N PIERRON RD



WINDOWS: ANDERSEN 100 SERIES, PELLA 250 OR EQUAL

COLOR: BLACK



SOFFIT/FASCIA & GUTTERS

ABERCOMBIE RESIDENCE
7340 N PIERRON RD

COLOR: BLACK



GARAGE DOOR: CLOYPAY MODERN STEEL OR EQUAL

COLOR: ULTRA GRAIN CYPRESS WALNUT



PLAT OF SURVEY

LOT 50, WAYSIDE ESTATES, being a Subdivision of a part of Government Lot 4 in the Southwest ¼ and the Southeast ¼ of the Southeast ¼ of Section 18, Town 8 North, Range 22 East, in the City of Glendale, Milwaukee County, Wisconsin.

Elevations hereon are based on the NGVD 1929 Datum.
Proposed building is staked on actual corners with control stakes on the longest house line. The contractor will be responsible to field verify all stakes for location and dimension prior to construction. If any discrepancies should arise, notify this office at once.
Expose sanitary sewer lateral before construction to verify gravity flow from basement.

Proposed Address: 7340 N. Pierron Rd.
Proposed Top of Fdn Wall:

Proposed 1st Floor: _____
Proposed Yard Grade: _____

BENCHMARK FOR ELEVATIONS :

Concrete Monument w/ Brass Cap

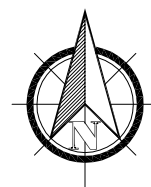
Marking the SW Corner of the

NE 1/4 of Section 18-8-22

Elevation: 658.69' - NGVD 1929 Datum

LEGEND

- – Denotes Found Iron Pipe
 ● – Denotes Set 3/4" Iron Rebar
 □ – Denotes Existing Utility Box
 (S) – Denotes Existing Sewer Manhole
 (M) – Denotes Existing MIS Manhole
 ⛶ – Denotes Existing Hydrant
 ♂ – Denotes Existing Cleanout
 542.00 – Denotes Spot Elevation
 — — — Denotes Existing Countour Line



MANHOLE
RIM: 643.61'
INV: 632.61'

PER FEMA, THE 100-YR FLOOD
ELEVATION OF MILWAUKEE RIVER IS
640.09' (NGVD29)

100 YEAR FLOODPLAIN
ELEV: 640.09'

WATER ELEVATION
10/10/20
ELEV: 631.28'

GRAPHIC SCALE
1" = 30'

A horizontal scale bar with alternating black and white segments. The segments are labeled 0', 5', 10', 15', 20', 30', and 60'.

AREA OF PROPERTY

20,064 Sq. Ft. to Waters Edge

WISCONSIN REGISTERED LAND SURVEYOR

NOTE : THIS IS NOT AN
ORIGINAL SURVEY UNLESS
THIS SEAL IS RFD.

Surveyed for: **ROBERT AND DINA ABERCROMBIE**

"I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

"This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map.

MANHOLE 
RIM: 641.97'
INV: 631.27' 

EXISTING DWELLING

BUILDING SETBACK 75' FROM SHORELINE PER
REFERENCE SURVEY, NEED TO VERIFY FROM CITY

10/10/2020
FIELD WORK DATE

NAS/MWW
FIELD WORK BY

11/04/2020
DATE DRAFTED

MWW
DRAFTED BY

35878
JOB NUMBER

MILWAUKEE RIVER 4.49 86

These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.

CLIENT

ABERCROMBIE HOME

PROJECT

7340 N PIEERON RD

SHEET TITLE

SITE PLAN

ISSUE DATE

3/11/21

REVISIONS

NO. DATE DESCRIPTION

BID PLANS

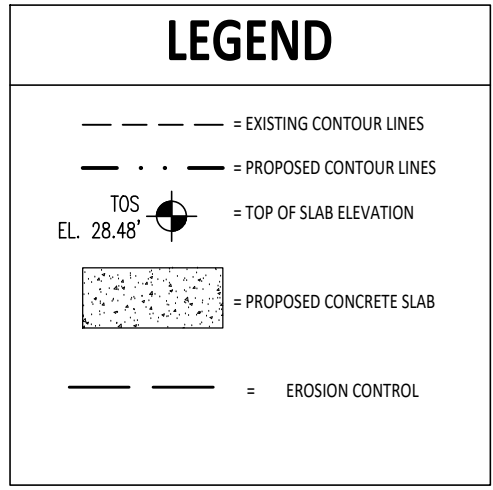
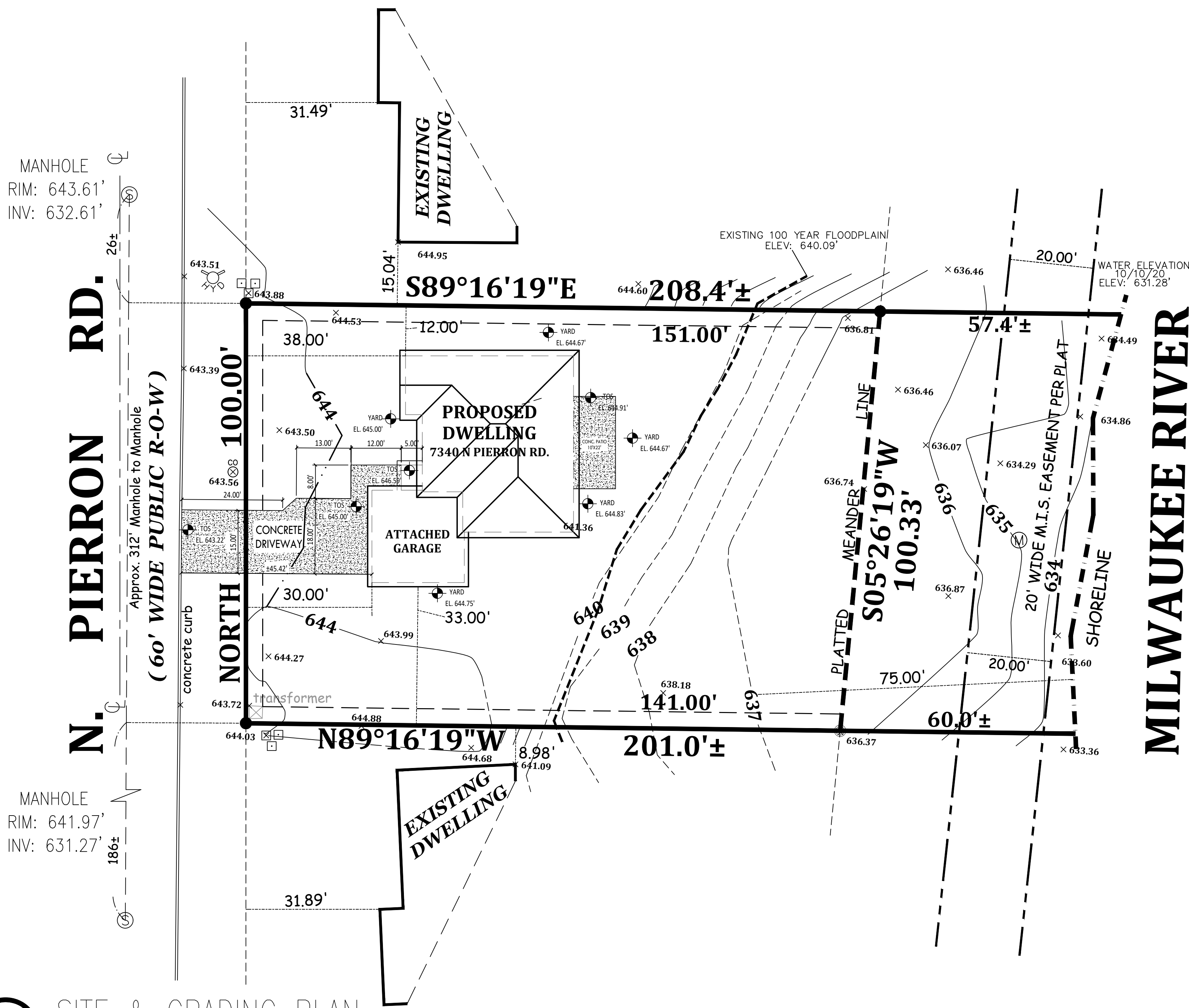
DRAWN BY B. HILL

CHECK BY M. EMEM

PROJECT NO.

SHEET NO.

SP1



SITEPLAN NOTES

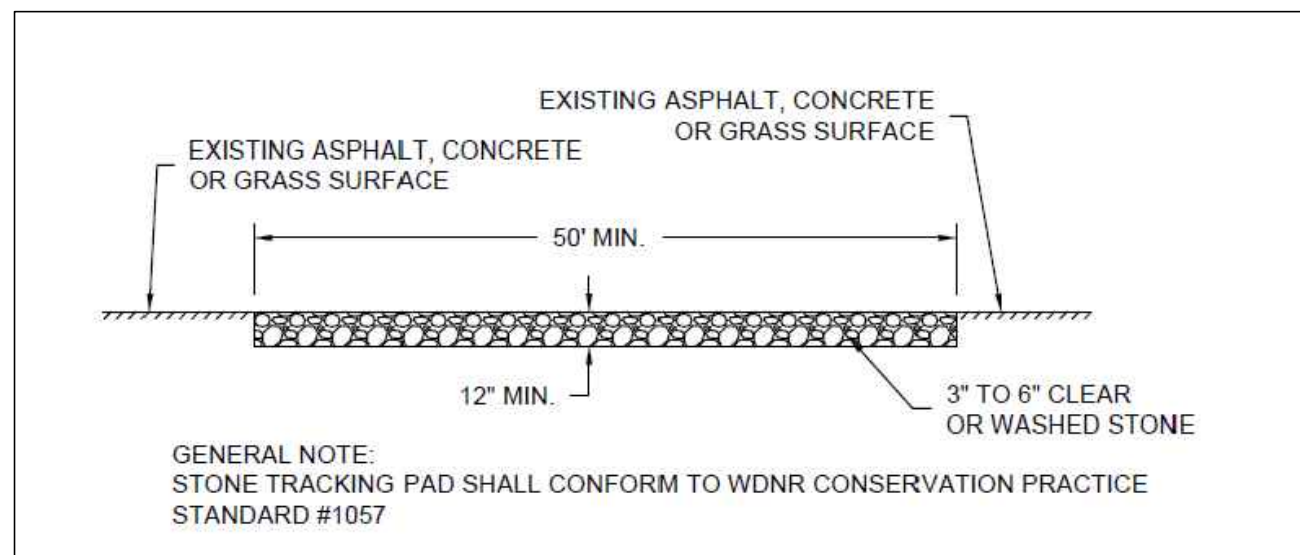
- THE INTENT OF THIS DRAWING IS TO SHOW THE EXTENT OF THE SITE DEMOLITION, AND PROPOSED ALTERATIONS. CONSULT WITH OWNER AND ARCHITECT PRIOR TO STARTING WORK.
- A. PROVIDE SAFE MEANS OF EGRESS THROUGH AND AROUND THE BUILDING AND SITE AT ALL TIMES.
B. CONTRACTOR TO PROTECT ALL SUBJECT PROPERTY AND ALL NEIGHBORING PROPERTIES FROM SITE WORK.
C. VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF WORK WITH GC. NOTIFY ARCHITECT OF CONFLICTS.
D. ALL SPOILS SHALL REMAIN ON SITE. COORDINATE WITH GC ON CUT AND FILL.
E. REFER TO SPECIFICATIONS.
F. MAINTAIN EXISTING SITE GRADES UNLESS NOTED OTHERWISE. REFER TO PERMIT SURVEY.
G. PROVIDE EROSION CONTROL AROUND PERIMETER OF SITE WITH EITHER SILT FENCE OR SILT SOCK INSTALLED PER APPLICABLE CODES AND PER MANUFACTURER'S SPECIFICATIONS. MAINTAIN DURING CONSTRUCTION AND REPAIR AS REQUIRED TO ENSURE PROPER EROSION CONTROL.
H. PROVIDE INLET PROTECTION AT DOWNSTREAM INLETS AT DOWNSTREAM CATCH BASINS FROM SITE. MAINTAIN AS REQUIRED.
I. PROVIDE TRACK PAD AS REQUIRED PER CODE.
J. SPOILS STORED ONSITE DURING CONSTRUCTION SHALL BE HAVE PROPER EROSION CONTROL AROUND THEM. COORDINATE WITH GC IN FIELD.

PROPOSED YARD GRADE = 644.83'
TOW = 645.67 = 98'-7"
FIRST FLOOR: 647.09 = 100'-0"
TOTAL PROPOSED IMPERVIOUS SPACE = 1,892 SF

REFER TO SURVEY FOR
EXISTING GRADES

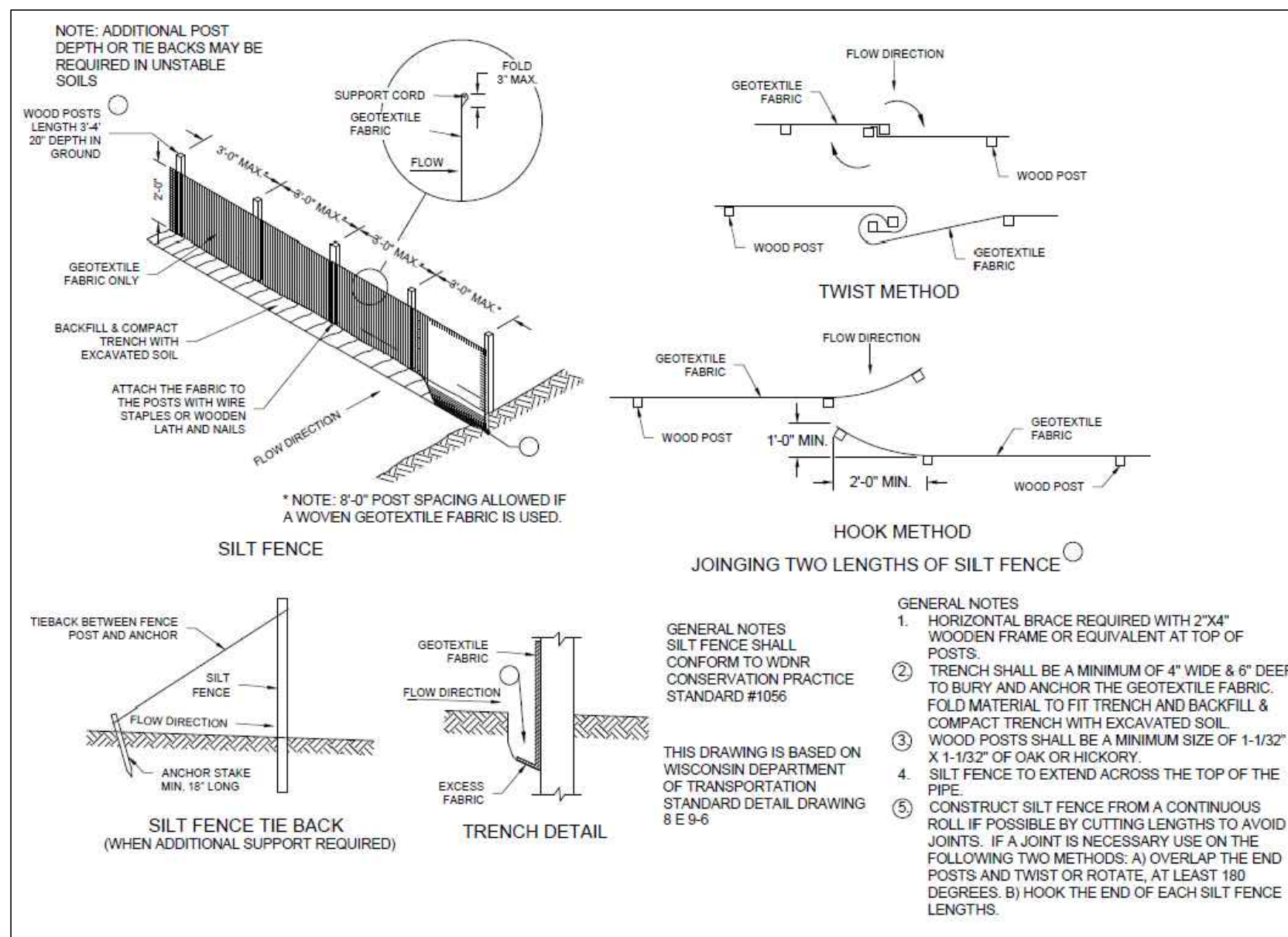
1 SITE & GRADING PLAN

SCALE: 1/8" = 1'-0"



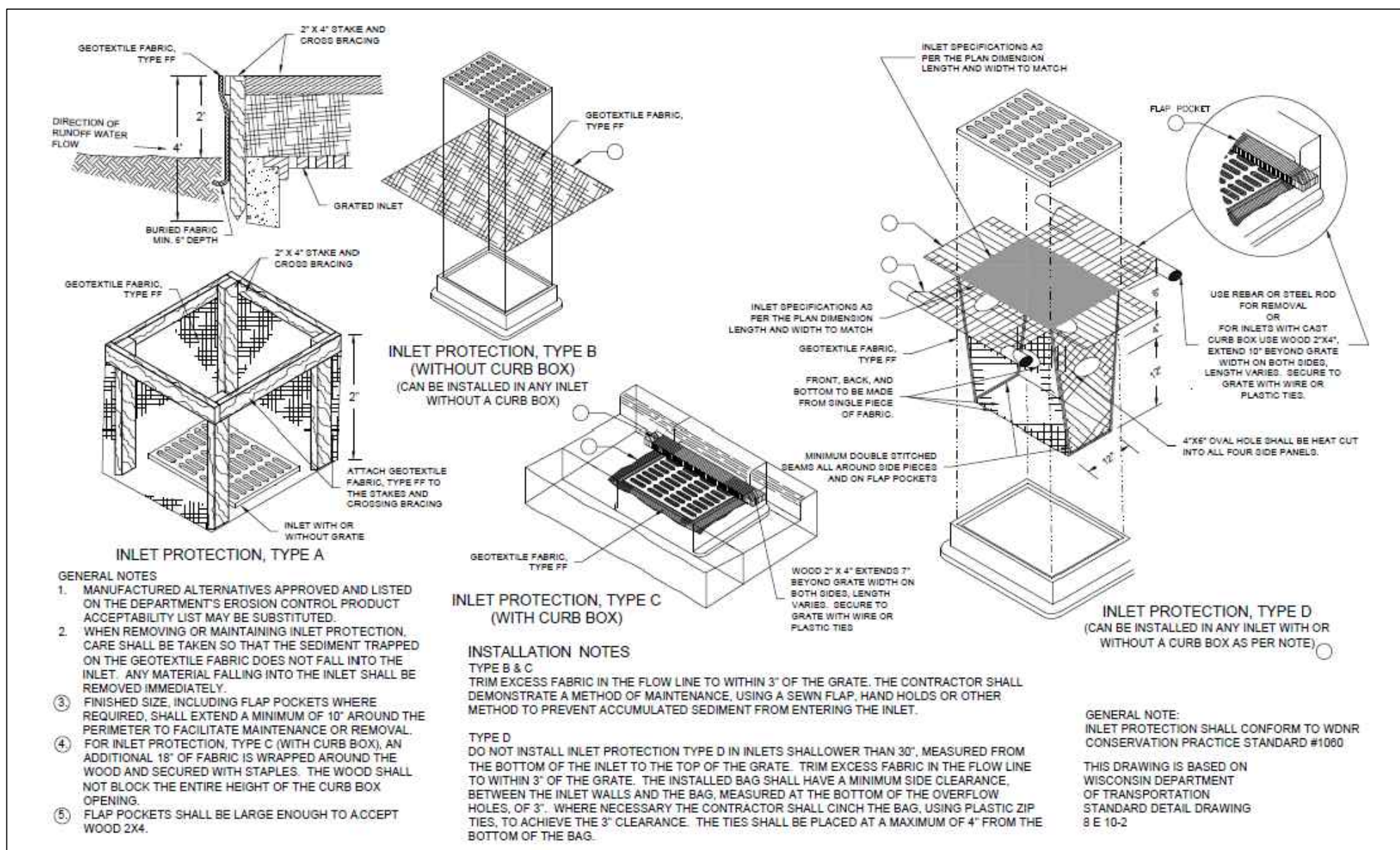
2 TRACKING PAD DETAIL: WDNR TS-1057

SCALE: N-T-S



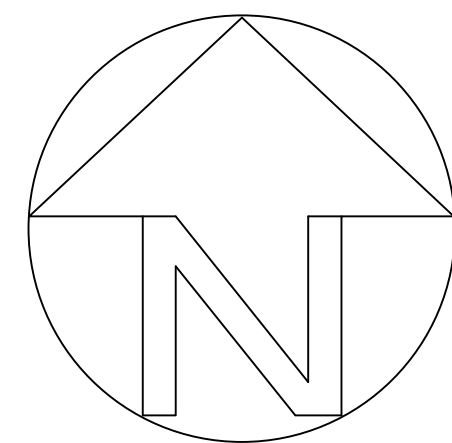
3 SILT FENCE DETAILS: WDNR TS-1056

SCALE: N-T-S



4 INLET PROTECTION TYPE A, B, C, & D: WDNR TS-1060

SCALE: N-T-S



ABERCROMBIE RESIDENCE

7340 N PIERRON RD.

GLENDALE, WI 53209



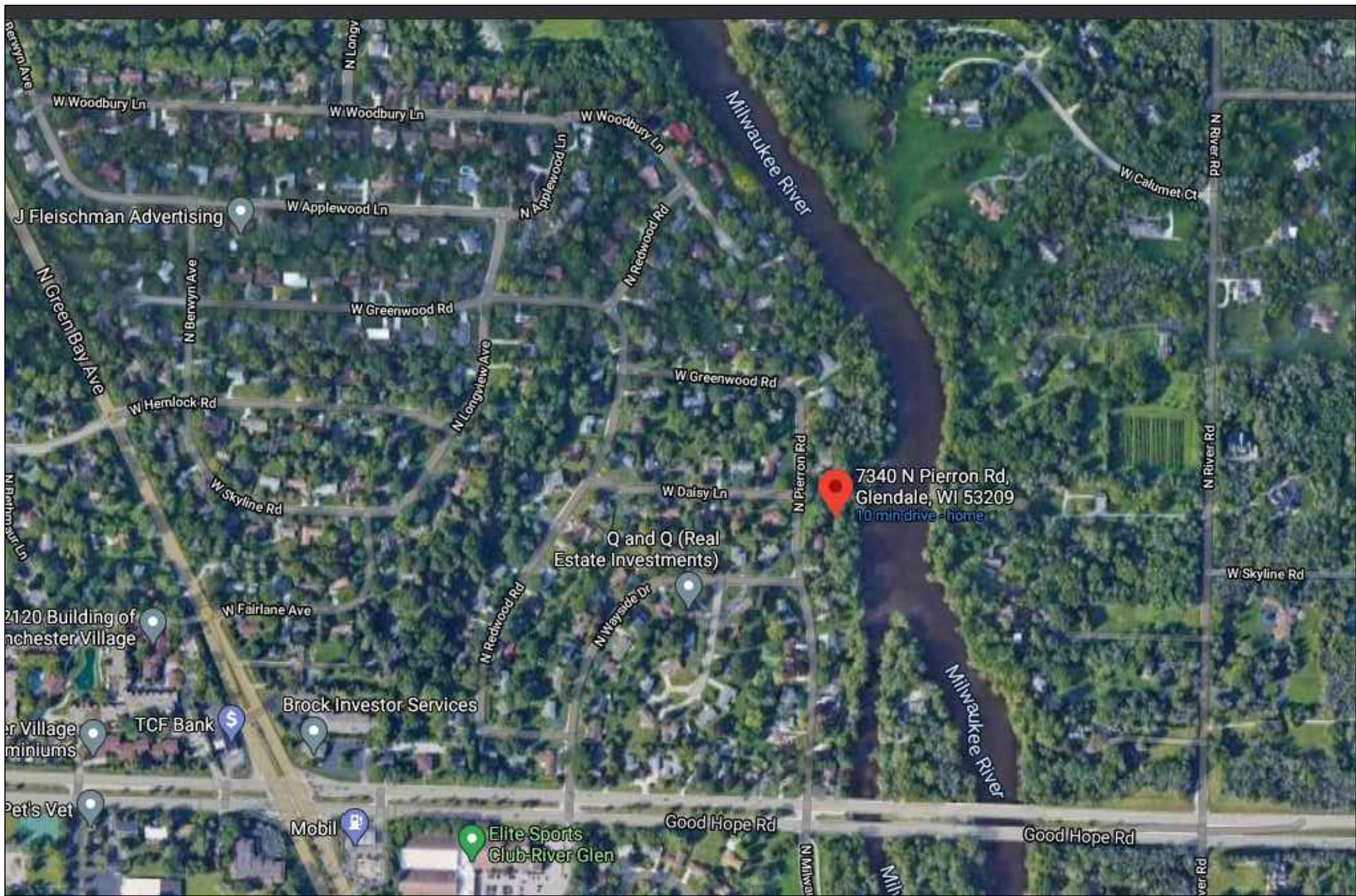
Phone: 414.465.2808

Web: www.emem-group.com

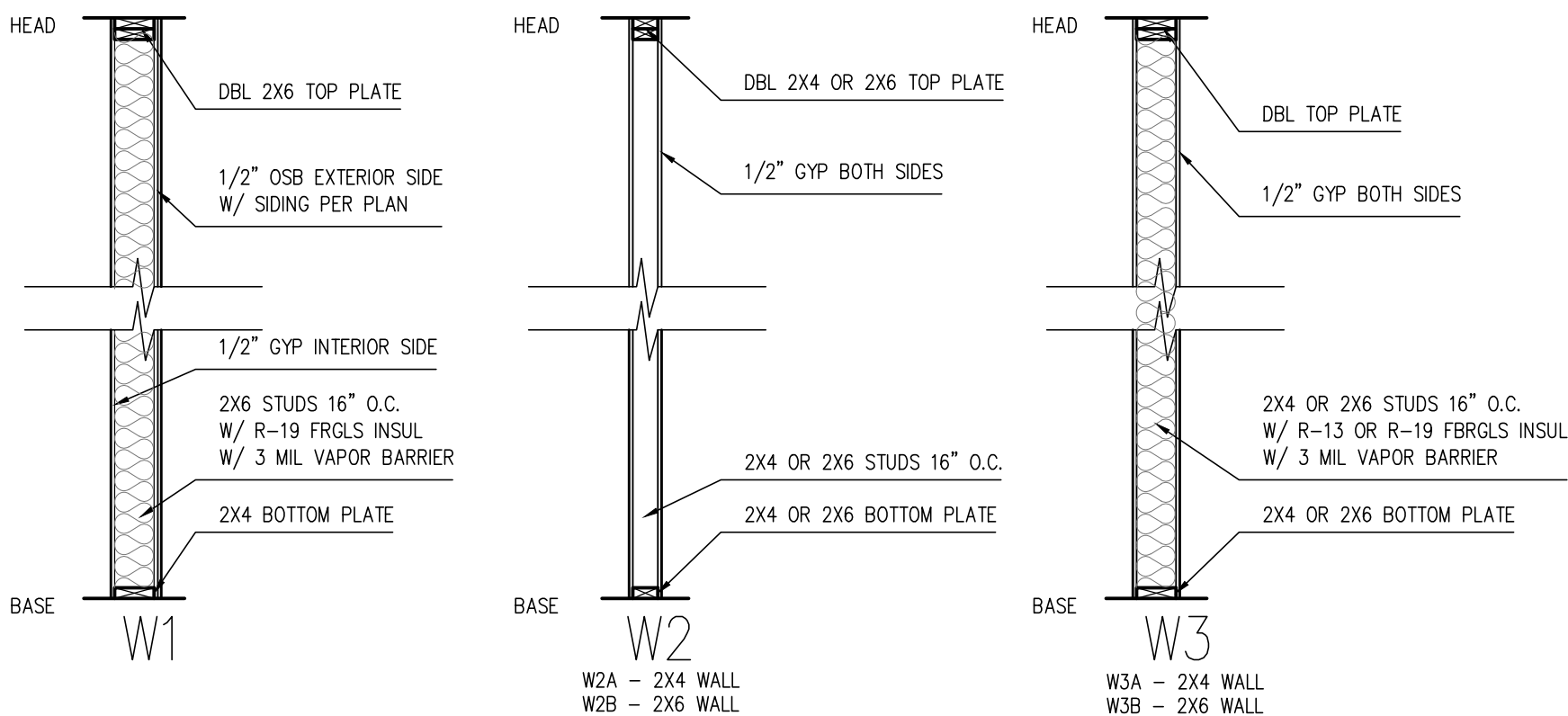
315 W. Court Street, Suite 200

Milwaukee, WI 53212

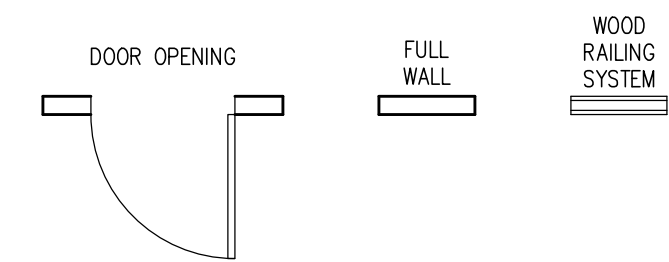
These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.



1 VICINITY MAP
T1 SCALE: NTS



2 WALL TYPES
T1 SCALE: NTS



3 DOOR & WALL SYMBOLS
T1 SCALE: NTS

DRAWING INDEX

T1 - TITLE SHEET

T2 - SPECIFICATIONS

SP1 - SITE PLAN

A1 - EXTERIOR ELEVATIONS

A2 - EXTERIOR ELEVATIONS

A3 - FOUNDATION PLAN & WALL SECTION

A4 - FLOOR PLANS

A5 - ROOF PLAN & SECTION DETAILS

E1 - ELECTRICAL PLAN

FINISHED BASEMENT AREA:	1,142 SF
FIRST FLOOR AREA:	1,438 SF
SECOND FLOOR AREA:	1,268 SF
THIRD FLOOR AREA:	--
TOTAL HABITABLE FLOOR AREA:	3,848 SF
GARAGE FLOOR AREA:	484
ZONING:	--
PREVIOUS OCCUPANCY:	--
PROPOSED OCCUPANCY:	RESIDENTIAL
BUILDING CODE(S):	STATE OF WI UNIFORM DWELLING CODE
NUMBER OF STORIES:	1
NUMBER OF STREETS:	1

CLIENT

ABERCROMBIE HOME

PROJECT

7340 N PIEERON RD

SHEET TITLE

TITLE PAGE

ISSUE DATE

1/31/21

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

BID PLANS

DRAWN BY M. EMEM

CHECK BY M. EMEM

PROJECT NO.

SHEET NO.

T1

GENERAL NOTES:

01. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF THE GOVERNMENT AUTHORITIES HAVING JURISDICTION.
02. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS AND PROCEDURES OF ANY AND ALL AUTHORITIES HAVING JURISDICTION.
03. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS.
04. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND NOTIFY THE DESIGNER OF ANY CONCERNS PRIOR TO STARTING WORK.
05. DO NOT SCALE THE DRAWINGS. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS OR INFORMATION IS UNCLEAR, THE CONTRACTOR SHALL NOTIFY THE DESIGNER FOR CLARIFICATION.
06. CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHERS NOT INCLUDED IN THE THIS CONTRACT AS DIRECTED BY THE OWNER.
07. ALL PLAN DIMENSIONS ARE TO FACE OF MASONRY VENER OR FACE OF WALL FINISH, U.N.O. (UNLESS NOTED OTHERWISE)
08. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
09. THE WORD "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
10. "TYPICAL" (OR TYP.) AS USED IN THESE DOCS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS U.N.O.
11. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED & BRACED & SEALED AS REQUIRED.
12. CONTRACTOR SHALL COORDINATE MILLWORK INSTALLATION & PROVIDE BLOCKING AS REQUIRED FOR THE SUPPORT OF SUCH MILLWORK TYP.
13. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES
14. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP, UNLESS NOTED OTHERWISE.

EXTERIOR

--

MECHANICALS

01. PROVIDE POWER AND LIGHTING AS REQUIRED PER CODE.
02. PROVIDE EXHAUST FANS AND OTHER VENTING AS REQUIRED PER CODE.
03. PROVIDE WATER AND SANITARY LINES AS REQUIRED PER CODE.
04. ALL WORK REQUIRING DESIGN SHALL BE DESIGNED BY OTHERS.
05. ALL WORK SHALL BE COMPLETED BY LICENSED CONTRACTORS.
06. BALANCED MECHANICAL VENTILATION MAY BE PROVIDED IN LIEU OF OPENABLE EXTERIOR DOORS, SKYLIGHTS OR WINDOWS TO MEET THE NATURAL VENTILATION REQUIREMENT FOR BELOW GRADE HABITABLE ROOMS PROVIDED THE SYSTEM IS CAPABLE OF PROVIDING AT LEAST ONE AIR CHANGE PER HOUR OF FRESH AIR WHILE THE ROOM IS OCCUPIED. INFILTRATION MAY NOT BE CONSIDERED FOR MAKE-UP AIR BALANCING PURPOSES. COORDINATE WITH GENERAL CONTRACTOR.

WINDOWS & DOORS

01. WINDOW CONTRACTOR NEEDS TO VERIFY THAT ALL WINDOWS MEET THE FOLLOWING CRITERIA:
 - EGRESS: 20"x24" MINIMUM CLEAR OPENING IN ALL BEDROOMS.
 - LIGHT: 8% MINIMUM OF THE FLOOR AREA NEEDS TO BE GLAZING.
 - VENTILATION: 3.5% MINIMUM OF THE FLOOR AREA IN ALL HABITABLE ROOMS NEEDS TO BE OPERABLE SASH(S).
02. PROVIDE NEW EXTERIOR WINDOWS & DOORS PER SPECIFICATIONS.

PORCHES & DECKS

- GUARDRAILS: 36" MINIMUM HIGH AFF AT FIRST FLOOR & 42" MINIMUM HIGH AFF AT SECOND FLOOR.
- HANDRAILS: 34" MINIMUM HIGH (TYP.)



Phone: 414.465.2808

Web: www.emem-group.com

315 W. Court Street, Suite 200
Milwaukee, WI 53212

These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC.
Copyright 2020.

CLIENT

ABERCROMBIE HOME

PROJECT

7340 N PIEERON RD

SHEET TITLE

SPECIFICATIONS

ISSUE DATE

1/31/21

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

BID PLANS

DRAWN BY M. EMEM

CHECK BY M. EMEM

PROJECT NO.

SHEET NO.

T2

STANDARD HOME SPECIFICATIONS

GENERAL REQUIREMENTS AND CONDITIONS

- Site dumpsters and portable toilet facility for the project shall be provided by the GC.
- Daily material cleanup and disposal in the dumpster is the responsibility of each contractor.
- Final cleaning (including windows) will be performed after all subcontractors have completed their work and have completed their final construction cleaning.
- Prior to installation, all mechanical contractors must coordinate the route they would like to use in and under the basement joists with the other contractors. The purpose for this coordination is to maximize the clear space in the basement for the Owner by placing all systems together. Contractors should exercise every option to eliminate or reduce surface mounting below the joists. Failure to perform this coordination may result in removal and reinstallation of your systems at no cost to the Owner.
- All exterior or rated wall penetrations are the responsibility of the contractor who created them and must be sealed before the end of the workday.
- All contractors must follow the manufacturer's installation instructions.

EARTHWORK

- Erosion control fence and/or silt sock and temporary drive (tracking pad) shall be provided by the GC.
- Excavation: Do not disturb the soil under the neighboring building foundations. Protect as required.
- Balance site as possible. Truck all excess spoils offsite to an approved dumpsite.
- Aggregate for drain tile system shall be backfilled 16" above footing immediately after walls are stripped and waterproofing is installed per manufacturer's specifications.
- Foundation walls must cure a minimum of 5 days prior to backfilling.
- Backfill walls 12" higher than proposed finish grade in anticipation of settling.
- Walls over 9' in height shall be braced prior to backfilling.
- All hauling and soil export costs (trucking, tipping fees, etc.) shall be the responsibility of the earthwork contractor unless noted otherwise.

FOUNDATION – See structural notes on last page

- Drain tile system installed per manufacturer's specifications and connected to sump crotch.
- Rebar shall be provided per plans w/ minimum (3) horizontal rows continuous w/ bent bars at corners and (1) vertical bar every 8".
- All poured concrete footings, pads, walls, haunches, stoops, piers, etc. shall be reinforced with rebar and shall be 3500+ PSI in strength unless noted otherwise.
- Poured concrete walls shall have smooth finish on exterior side above grade
- Steel columns and beams shall be furnished and installed as shown on plan by the concrete contractor unless noted otherwise.
- The concrete contractor must grout beam pockets after the drywall is installed.

- 5/8" x 8" galvanized anchor bolts shall be poured-in-place on the top of all foundation walls no more than 6' on center.
- Control joints shall be formed or cut in (1/2" deep) at a minimum of 12' on center and/or at all window locations.
- Control joints shall be cleaned out and caulked with Vulkem® 116 Limestone colored sealant or approved substitute on both sides of the wall prior to waterproofing installation.
- Foundation walls shall be waterproofed using the WATCHDOG WATERPROOFING® system or equal, sprayed from top of footing to finished grade. 10-year transferable performance warranty minimum.

CONCRETE FLATWORK

- Interior basement slab shall be 3", 3000+ PSI concrete slab poured over 4"+ of dry stone aggregate. 6-mil vapor barrier with a minimum 12" overlap at all seams and around all penetrations (pipes, etc.). Control joints must be cut in within 24-hours of pour.
- Garage slab shall be 4", 3500+ PSI concrete slab with fiber mesh reinforcement poured over 4"+ of dry stone aggregate. 6-mil vapor barrier with a minimum 12" overlap at all seams and around all penetrations (pipes, etc.). Control joints must be cut in within 24-hours of pour, unless noted otherwise.
- Exterior flatwork shall be a minimum of 4", 3500+ PSI concrete slab with welded wire mesh reinforcement poured over 4"+ of dry stone aggregate. Control joints must be cut in within 24-hours of pour, unless noted otherwise. See site plan for details.

ROUGH FRAMING

- Kiln dried SPF dimensional lumber shall be used. Framing method shall be site built.
- Treated and bolted sill plate with sill sealer shall be used on top of foundation walls.
- All exterior walls shall be constructed of 2" x 6" studs spaced a minimum of 16" on center. Exterior sheathing shall be 7/16" O.S.B. w/ Tyvek Weather barrier or equal, installed per manufacturer's specifications.
- Ceiling Heights: 9' on first floor, 8' on 2nd floor unless noted otherwise. Refer to plans.
- Canopies & Soffit Widths: 12" aluminum soffit. Refer to plans.
- Steel columns and beams shall be furnished and installed by masonry contractor.
- Floor joists per structural plans and structural calculations.
- All stair landings shall be plywood unless noted otherwise.
- Interior walls shall be installed in a manner to allow the installation of wood trim up to 3-1/2" around all openings (windows, doors, etc.). Pay special attention to inside corners and inside closets.
- *NOTE* ALL PLANS ARE DRAWN TO FINISH DIMENSIONS!
- TJI Joists spaced per plans.
- Double floor joists are required under heavy items such as bathtubs, washers, refrigerators, etc.
- Floor sheathing shall be 3/4" Tongue and Grooved single floor system glued, nailed and screwed.
- 1"x6" thresholds are required under all exterior doors to raise the door for the finished flooring. Coordinate with GC.
- Garage framing shall be 2"x4" studs spaced 16" on center with 7/16" O.S.B. unless noted otherwise.
- Tyvek® House Wrap system must be used to resist air infiltration & water intrusion (for walls). Tyvek® Construction Tape must be used at all seams, rips, tears, etc. Tyvek® Flashing Flex and Tyvek® Peel & Stick Flashing must be applied to all window, door and patio door openings per manufacturer's specifications. Procteco Wrap is not an acceptable substitute.

- Attached garage and house house wrap systems shall be kept separate. Both structures must be covered, but they should be two completely separate envelopes.
- Roof sheathing shall be 7/16" OSB nailed to trusses with metal hurricane clips.
- Stair treads and risers must be glued and screwed to stringers.
- Stringers are recessed under all stairways along the walls and a single stringer down the center of the stairs (except for floating stair case).
- Interior treads and stringers shall be pine and risers may be O.S.B. unless noted otherwise.
- Install in-wall blocking for sinks, handrails, shower doors, grab bars, etc. per plan and/or per GC's onsite instruction.
- Exterior porch railings and post wraps shall be cedar unless noted otherwise.
- Exterior porch decking and stair threads and stringers shall be treated lumber unless noted otherwise. Exterior stair risers and skirting shall be cedar.
- Exterior porch decking, railings stair treads and risers must be screwed, not nailed.
- All exterior fasteners must be stainless steel, hot dipped galvanized or approved for exterior use.

EXTERIOR WINDOWS AND DOORS

- Windows shall be Pella Encompass Series windows and patio doors or equal. Vinyl, double-hung, standard colonial with low E and argon filled. Prefinished white interior and exterior. No extensions jambs. Windows style as noted on the plans.
- Front entry door system is an allowance item and shall be selected by Owner.
- Provide 20-minute fire rated 6-panel steel door unit at attached garage.
- Rear entry and detached garage door shall be 6-panel steel units unless noted otherwise.
- Storm/Screen Doors is an allowance item and shall be selected by Owner.
- Overhead Garage Door shall be an 8' high un-insulated (detached garage option) with raised steel panel with 1/2 horsepower automatic garage door opener including 2 transmitters and 1 exterior keypad. If attached garage, overhead door shall be insulated.

ROOFING AND GUTTERS

- GAF Timberline HDZ or equal dimensional fiberglass shingles over 15# felt.
- Ice and water shield shall be in all valleys and at a minimum of 3' at the eaves.
- Continuous ridge vent roof ventilation system.
- Color matched baked enamel flashing materials shall be used.
- Provide aluminum gutter apron and drip edge. Confirm color with Owner.
- Seamless 5" K-style aluminum gutters and 4" downspouts. Confirm color with Owner.

SIDING & TRIM

- UNO, all siding and trim shall be James Hardie prefinished in standard colors.
 - Lap Siding: Horizontal lap siding with smooth finish. 6" lap.
 - Panel Siding: 4x8 smooth panel per plan. Provide matching metal trims.
 - Exterior Trim: Prefinished 5/4" HardiePanel® sized per plans.
 - 5/4" x 4" at all openings. Provide drip edge at openings.
 - 5/4" x 2" inside corners.
 - 5/4" x 8" freeze boards per plan. Provide drip edge.
 - 5/4" x 6" at all outside corners.
- Furnish and install NewTech composite siding per plan. Include all required furring and trims.
- Provide all flashings shown per plans and required per the manufacturer's specifications.
- All siding materials must be nailed to the studs and sealed per manufacturer's

FLOORING

- Carpet: 32oz. or greater broadloom carpet over 3/8", 8lbs pad per plans.
- Laminated Vinyl Plank (LVT). Shaw, Mannington or comparable 6"x36" floating LVT floor with 6-mil wear layer. Final selections shall be determined by Owner. Provide all floor transitions as required.
- Hardwood: Furnish and install prefinished hardwood floors per plans. Include felt underlayment as required. Provide all floor transitions as required. Wood species and finish color shall be selected by Owner.

TILE

- Contractor shall include all labor, materials and consumables necessary to complete the installation.
- Tile Floor: 12x12 or 6x24 porcelain tile per plan.
- Tile Shower: 12x12 or 6x24 wall tile with (1) row of mosaic accent tile. Include (1) soap alcove with accent tile and glass shelf.
 - Provide alternate for tile shower floor with manufacturer cementitious floor plan. Include all required flashings and sealants per manufacturer's specifications.
- All tile shall be installed over Durock® or comparable cementitious underlayment per manufacturer's instructions in required thickness to insure even finished elevations at flooring material transitions.

INTERIOR DOORS

- Interior doors: Primed hollow core molded pre-hung doors as shown on plan. Owner shall decide final door selections.
- Fire Doors: Provide 20-minute rated fire doors between house and attached garage.

DOOR HARDWARE

- Interior Hardware: Kwikset or equal, grade 3 door levers on all doors. Provide passage handles on all closet and hall doors, privacy handles on all bedroom and bath doors and dummy handles on all double closet doors. Confirm all final selections with Owner.
- Exterior Hardware: Kwikset or equal, grade 2 or better, keyed entry door levers with deadbolts on all exterior doors. Confirm all final selections with Owner.

MILLWORK

- Millwork: Primed MDF Craftsman S4S 6" base & 4" casing. Provide 1x6 cap for half walls where noted.
- Stair Parts: Coffman@L. J. Smith@ Handrail Post-To-Post (or comparable) with paint grade wood spindles on top of a knee wall.
- Closet Shelving: Two rows of wire shelving in all bedroom closets, four rows of shelving in all linen closets and one row of wire shelving in entry coat closets.

FIREPLACE

- Fireplace: White Mountain Hearth Tahoe 36" Deluxe gas direct vent fireplace with painted black interior, log set, and horizontal flex kit with cap.
- Stone & Hearth: 5' wide x 5' high manufactured stone facing using Pro-Line stone with Manufactured hearth stone flush or raised hearth.
- Mantel: 5' New colonial mantel in either oak or paint grade.

EXTERIOR PAINTING

- Furnish and place two coats of Sherwin Williams® latex exterior paint on all exterior deck rails and skirting. Exterior doors, siding and column wraps shall be prefinished.
- Provide alternate for painting exterior face of exterior doors and their door frames.

- 50-gallon, Natural Gas Power Vent gas hot water heater. Homes with soaker tub or whirlpool tub shall have 75-gallon hot water heater.
- Dishwasher shall be installed by plumber but furnished by Builder/Owner.
- Supply and install one-way drain cover for main 4" basement drain.
- Furnish and install all fiberglass tub/shower modules and shower floor pans.
- Install and plumbing fixtures furnished by Builder.
- Plumbing Fixtures: Final fixtures selections shall be determined by owner. Sinks shall be furnished by countertop provider.

ELECTRICAL

- Underground electrical service.
- 200 AMP electrical service with circuit breaker panel per plans.
- Romex® wiring.
- All roughed in and finished per plans.
- Waterproof exterior GFI outlets per plans.
- Install all outlets per plan and per code.
- If not identified on the plans, each room shall have at least 4 outlets.
- If not identified on the plans, at least one switched outlet in each bedroom and living room/great room is required.
- If not identified on the plans, there should be at least one ceiling mounted light fixture in all rooms, halls & walk-in-closet. All bedrooms shall be wired for a ceiling/light combo.
- Smoke detectors shall be hard wired with battery back-up per code/plans.
- Hard wired carbon monoxide detector with battery back-up shall be installed on each floor if not shown on plans.
- 220V electrical connection for electric dryer and stove is an alternate.
- Hard wired Ring doorbell system with doorbell buttons at front & back door.
- Exhaust fans to be installed in every bathroom. See the HVAC section below for additional information. Make sure to wire fans with an additional switch outside of the bathroom for Energy Star Code Compliance.
- Wiring and outlet(s) for garage door opener and lighting. Provide one GFI outlet in garage.
- Wiring roughed in and installed for range/microwave hood.
- Fireplace wiring and variable switch roughed in and installed for fireplace fan.
- Dedicated outlet for security system.
- Supply and install all outlets, switches and fan/light controls.
- Provide dimmers for all recessed fixtures in Great Room.
- All lights are controlled by wall switching devices.
- All exterior lights shall operate by motion sensor and a switched device per plan.
- Labor for the installation of all light fixtures shall be included in electrical base bid.
- Light Fixtures (with bulbs):
 - Basement-Wall switched porcelain sockets per plan
 - Garage- Wall switched porcelain sockets per plan
 - Recessed lighting per plan. IC rated where required. 60W LED bulbs in all can lights w/ recessed lighting trim kits (white).
 - Laundry and walk-in closets - LED fixture.
- Cabinet light fixtures: Wall switched under and over cabinet fluorescent light fixtures (UCL & OCL) with bulbs per plan.
- Non-Recessed Light Fixture (with bulbs) Buyer Allowance items include:
 - Exterior-Wall fixtures on a switch & motion sensor.
 - All Interior fixtures not listed above unless specified otherwise.

Page 5 of 8

Page 6 of 8

Page 7 of 8

Page 8 of 8

Page 1 of 8

Page 2 of 8

Page 3 of 8

Page 4 of 8

These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.

CLIENT

ABERCROMBIE HOME

PROJECT

7340 N PIEERON RD

SHEET TITLE

SITE PLAN

ISSUE DATE

3/11/21

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

BID PLANS

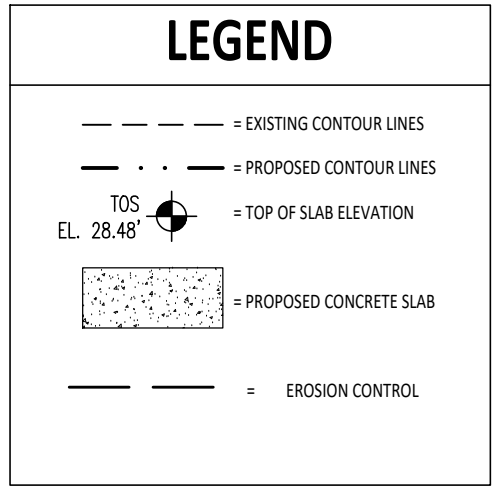
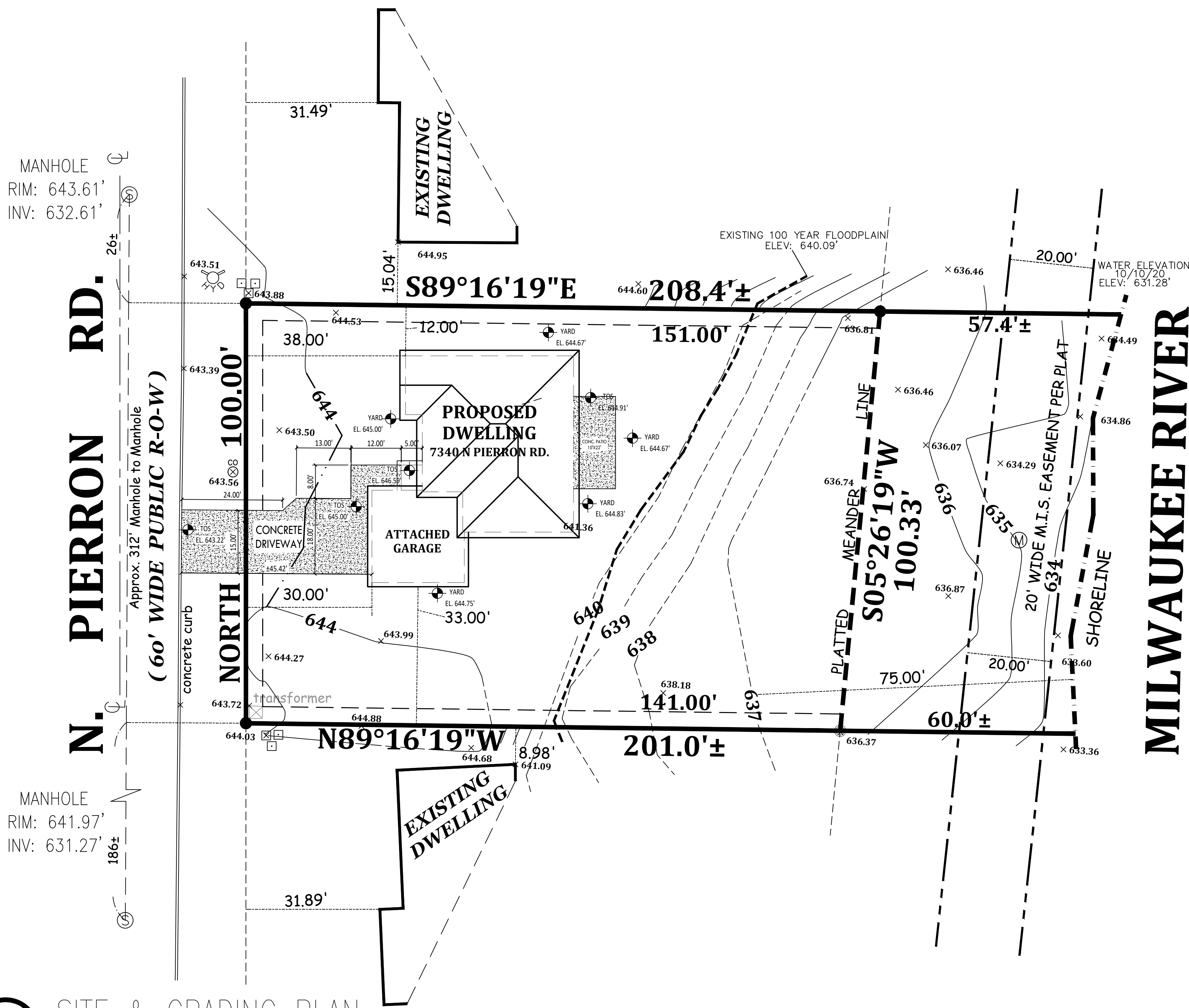
DRAWN BY B. HILL

CHECK BY M. EMEM

PROJECT NO.

SHEET NO.

SP1



SITEPLAN NOTES

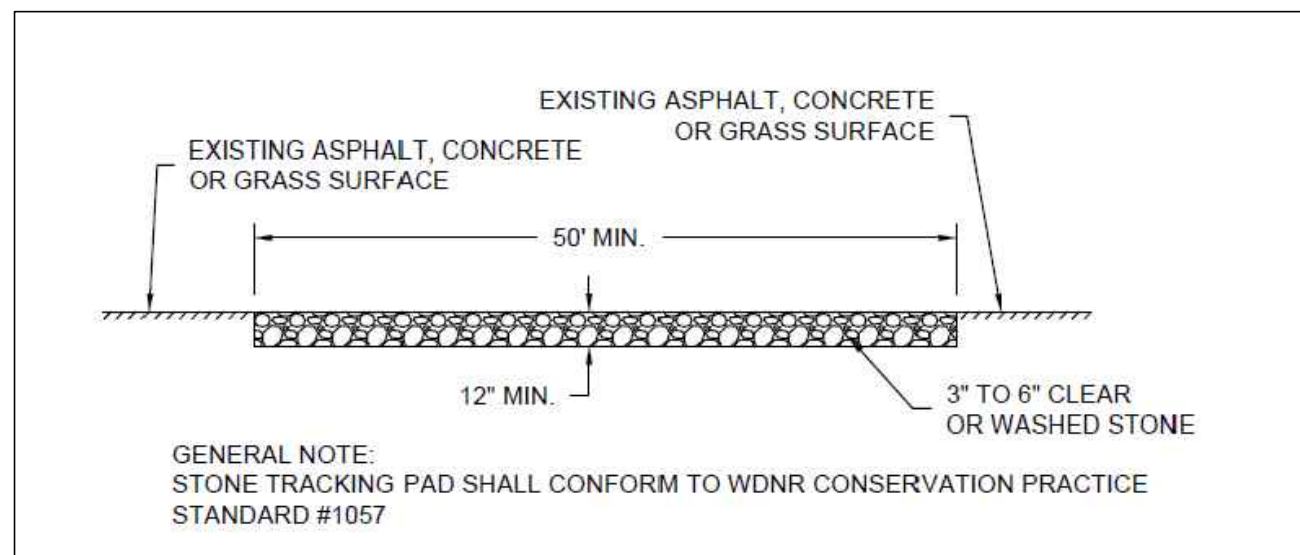
- THE INTENT OF THIS DRAWING IS TO SHOW THE EXTENT OF THE SITE DEMOLITION, AND PROPOSED ALTERATIONS. CONSULT WITH OWNER AND ARCHITECT PRIOR TO STARTING WORK.
- A. PROVIDE SAFE MEANS OF EGRESS THROUGH AND AROUND THE BUILDING AND SITE AT ALL TIMES.
B. CONTRACTOR TO PROTECT ALL SUBJECT PROPERTY AND ALL NEIGHBORING PROPERTIES FROM SITE WORK.
C. VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF WORK WITH GC. NOTIFY ARCHITECT OF CONFLICTS.
D. ALL SPOILS SHALL REMAIN ON SITE. COORDINATE WITH GC ON CUT AND FILL.
E. REFER TO SPECIFICATIONS.
F. MAINTAIN EXISTING SITE GRADES UNLESS NOTED OTHERWISE. REFER TO PERMIT SURVEY.
G. PROVIDE EROSION CONTROL AROUND PERIMETER OF SITE WITH EITHER SILT FENCE OR SILT SOCK INSTALLED PER APPLICABLE CODES AND PER MANUFACTURER'S SPECIFICATIONS. MAINTAIN DURING CONSTRUCTION AND REPAIR AS REQUIRED TO ENSURE PROPER EROSION CONTROL.
H. PROVIDE INLET PROTECTION AT DOWNSTREAM INLETS AT DOWNSTREAM CATCH BASINS FROM SITE. MAINTAIN AS REQUIRED.
I. PROVIDE TRACK PAD AS REQUIRED PER CODE.
J. SPOILS STORED ONSITE DURING CONSTRUCTION SHALL BE HAVE PROPER EROSION CONTROL AROUND THEM. COORDINATE WITH GC IN FIELD.

PROPOSED YARD GRADE = 644.83'
TOW = 645.67 = 98'-7"
FIRST FLOOR: 647.09 = 100'-0"
TOTAL PROPOSED IMPERVIOUS SPACE = 1,892 SF

REFER TO SURVEY FOR
EXISTING GRADES

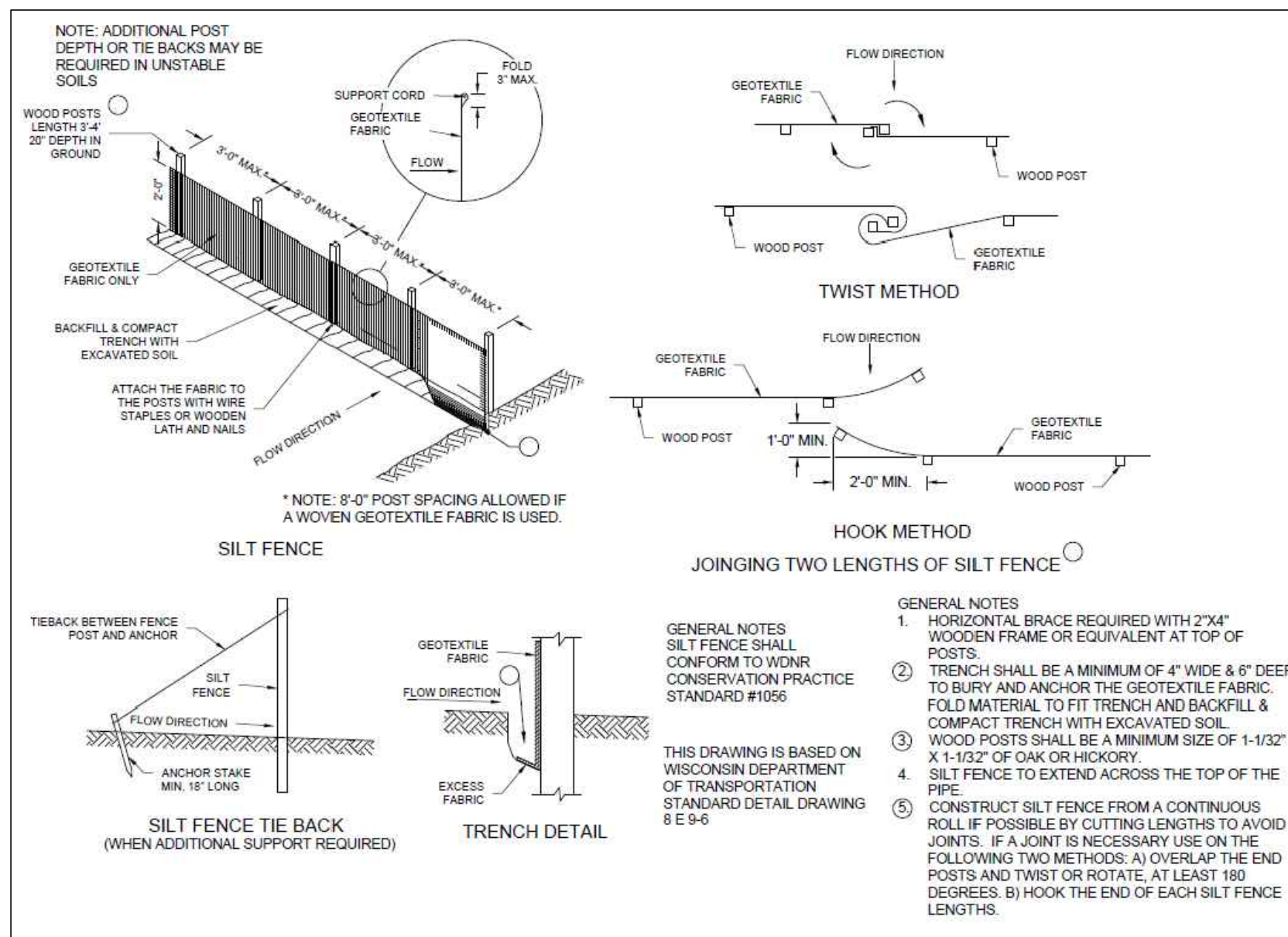
1 SITE & GRADING PLAN

SCALE: 1/8" = 1'-0"



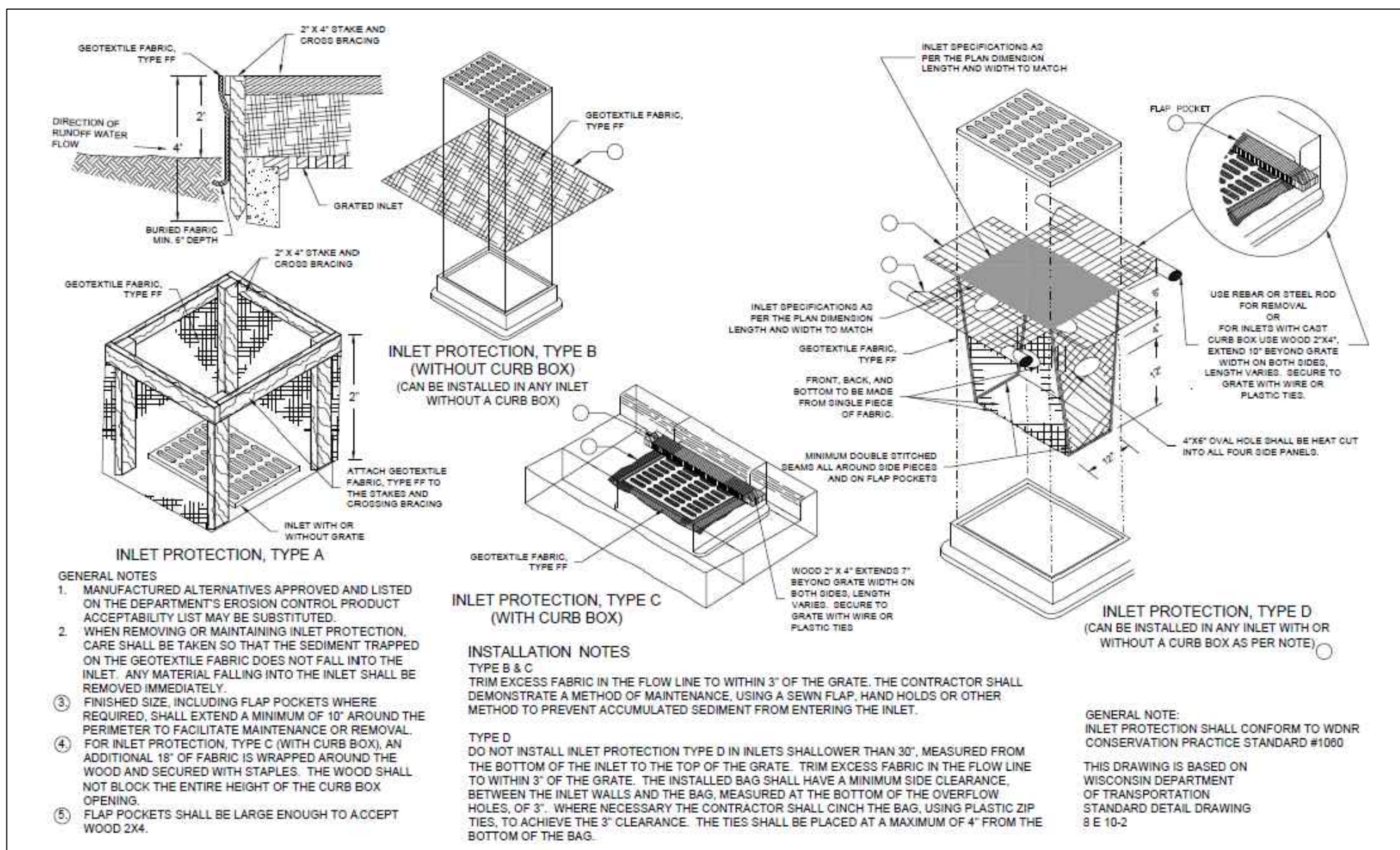
2 TRACKING PAD DETAIL: WDNR TS-1057

SCALE: N-T-S



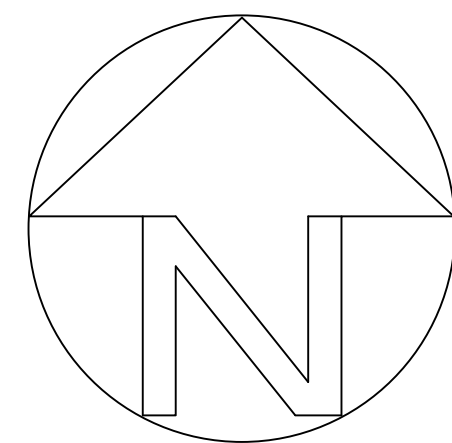
3 SILT FENCE DETAILS: WDNR TS-1056

SCALE: N-T-S



4 INLET PROTECTION TYPE A, B, C, & D: WDNR TS-1060

SCALE: N-T-S



These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.

CLIENT

ABERCROMBIE HOME

PROJECT

7340 N PIEERON RD

SHEET TITLE

FRONT ELEVATION

ISSUE DATE

1/31/21

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

BID PLANS

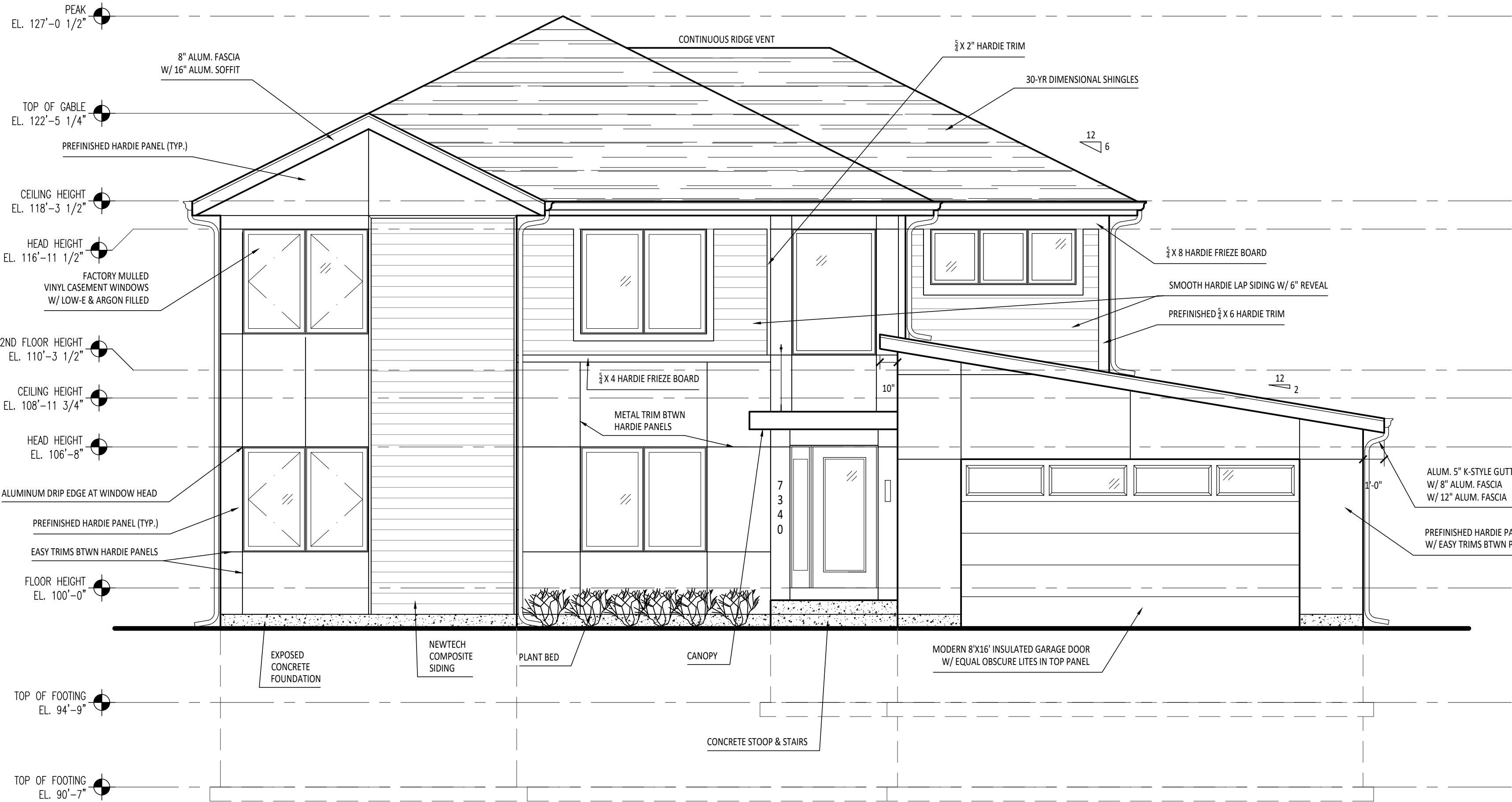
DRAWN BY M. EMEM

CHECK BY M. EMEM

PROJECT NO.

SHEET NO.

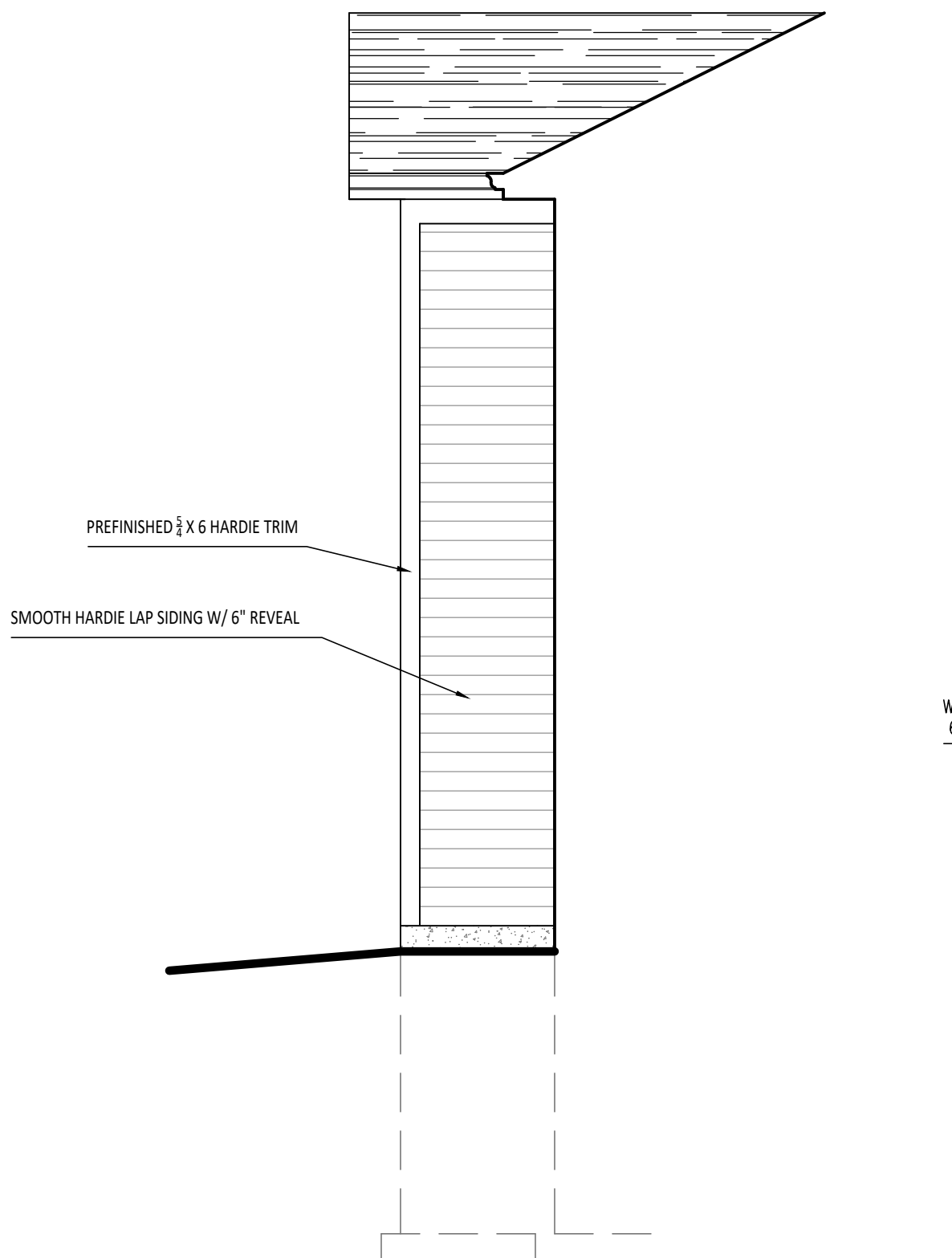
A1



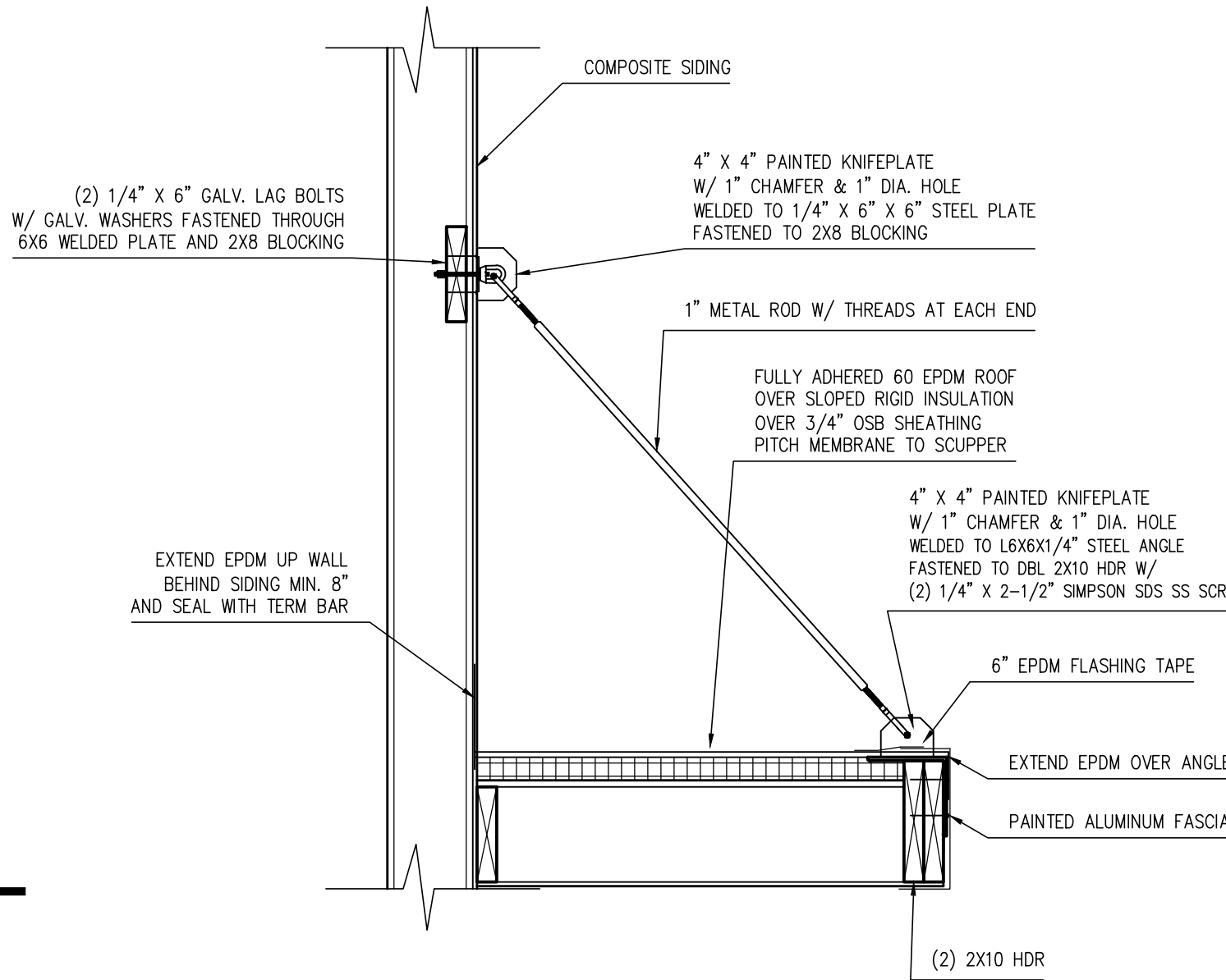
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



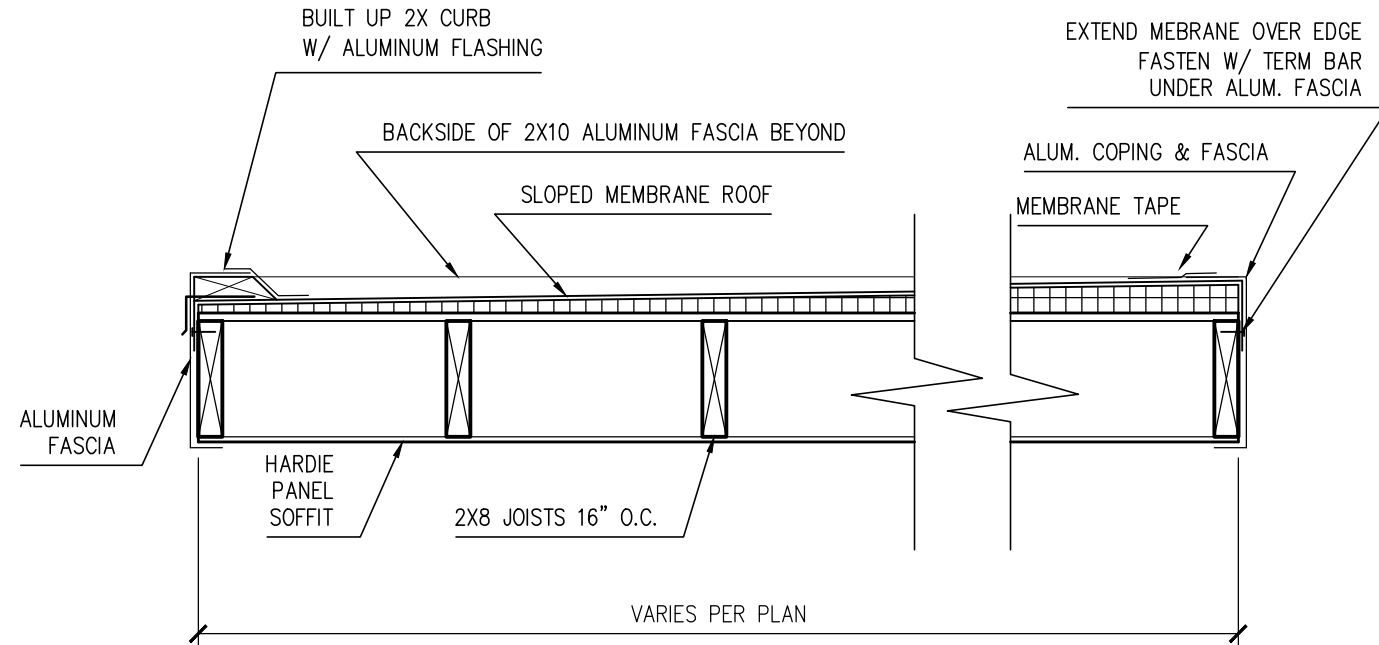
2 SIDE (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



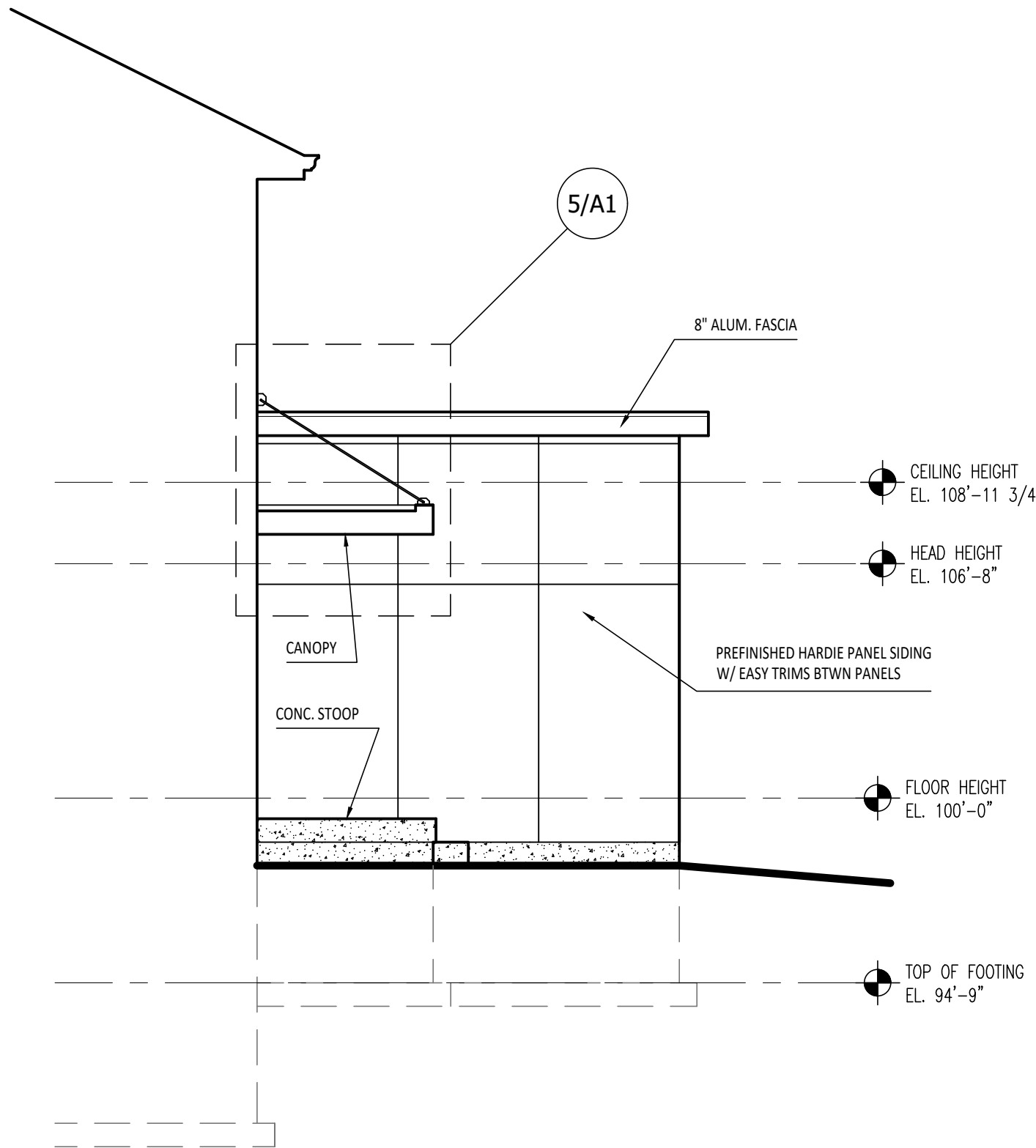
3 BUMPOUT WALL SOUTH
SCALE: 1/4" = 1'-0"



5 CANOPY SECTION
SCALE: 1" = 1'-0"



6 CANOPY SECTION
SCALE: 1" = 1'-0"



4 GARAGE WALL NORTH
SCALE: 1/4" = 1'-0"

These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.

CLIENT

ABERCROMBIE HOME

PROJECT

7340 N PIEERON RD

SHEET TITLE

EXTERIOR ELEVATIONS

ISSUE DATE

1/31/21

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

BID PLANS

DRAWN BY M. EMEM

CHECK BY M. EMEM

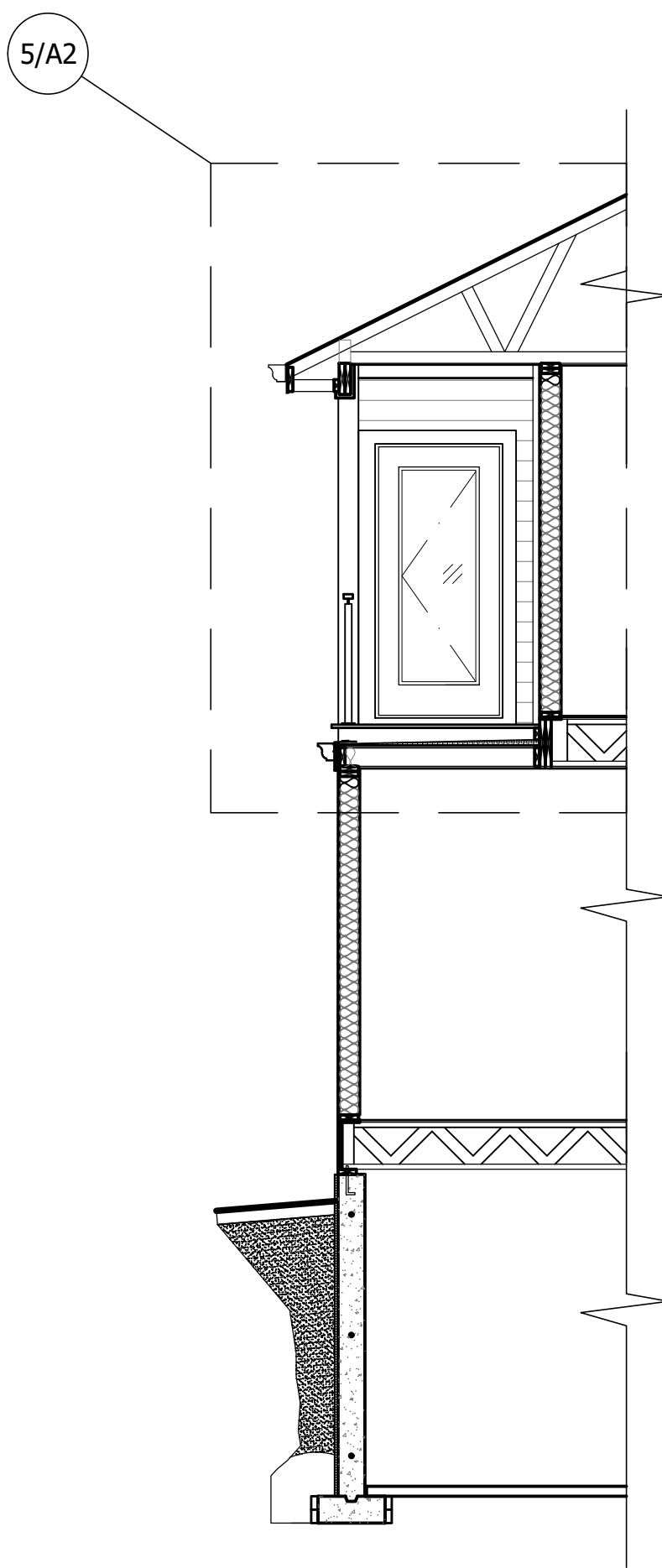
PROJECT NO.

SHEET NO.

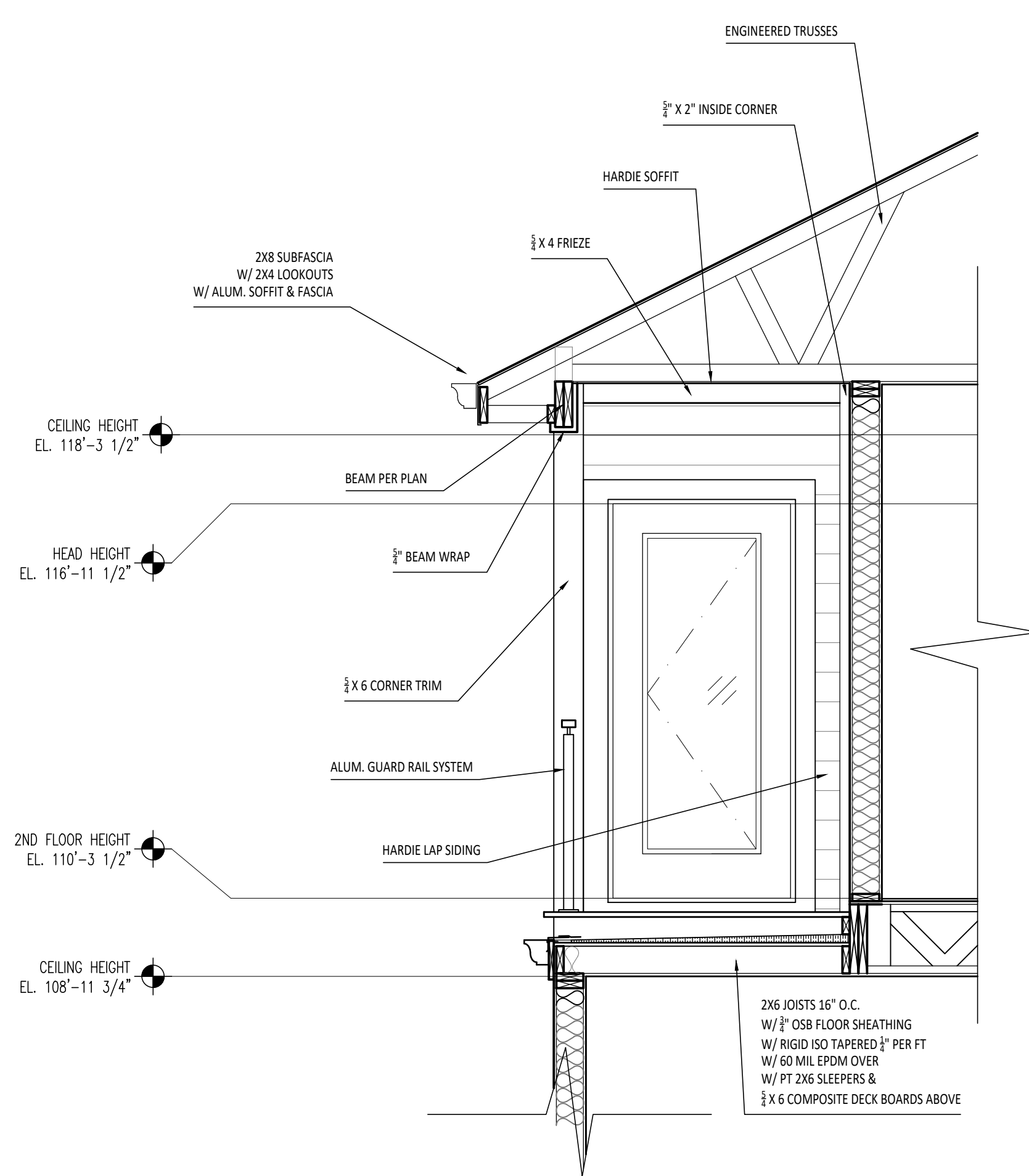
A2



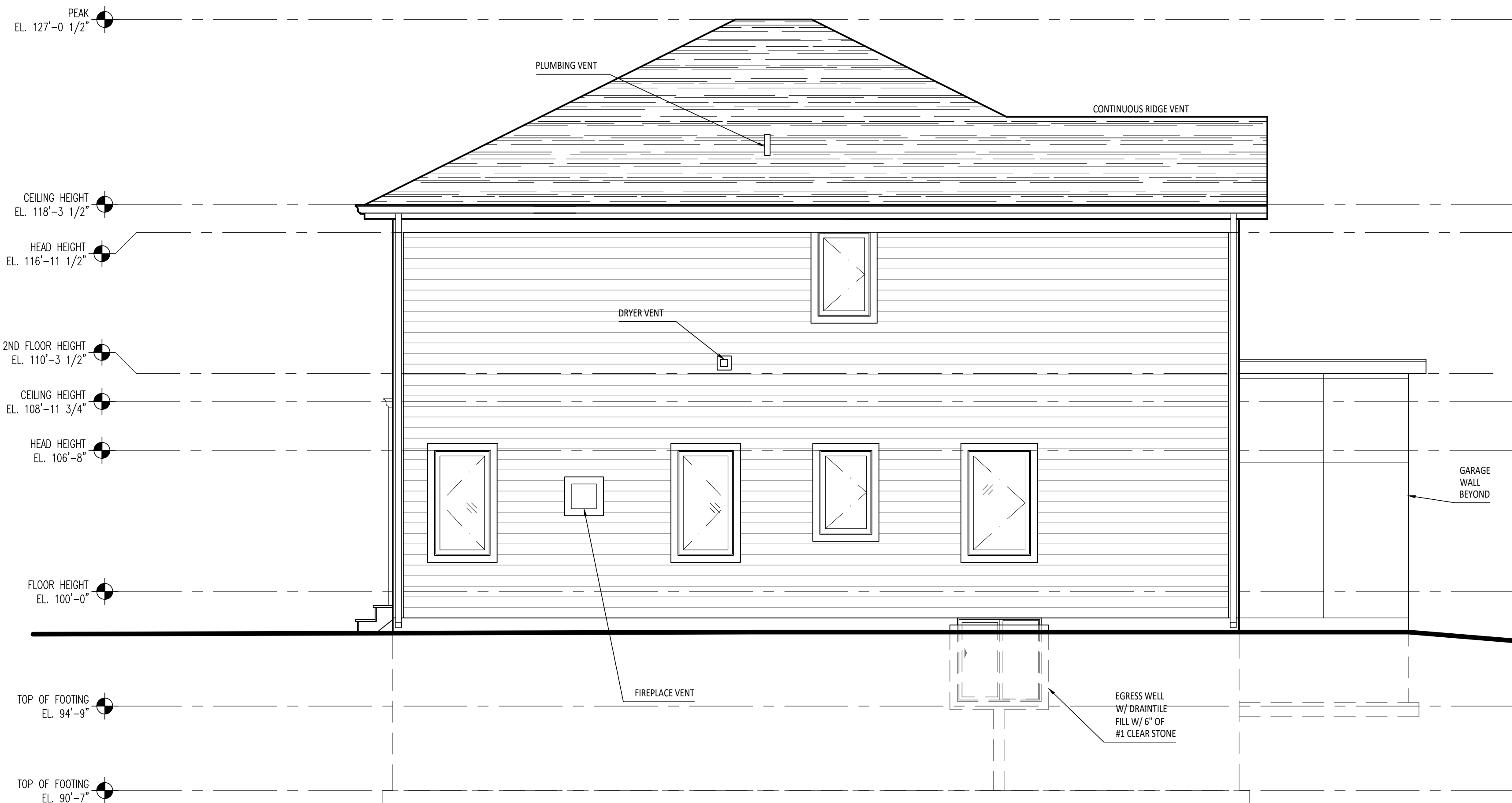
1 REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"



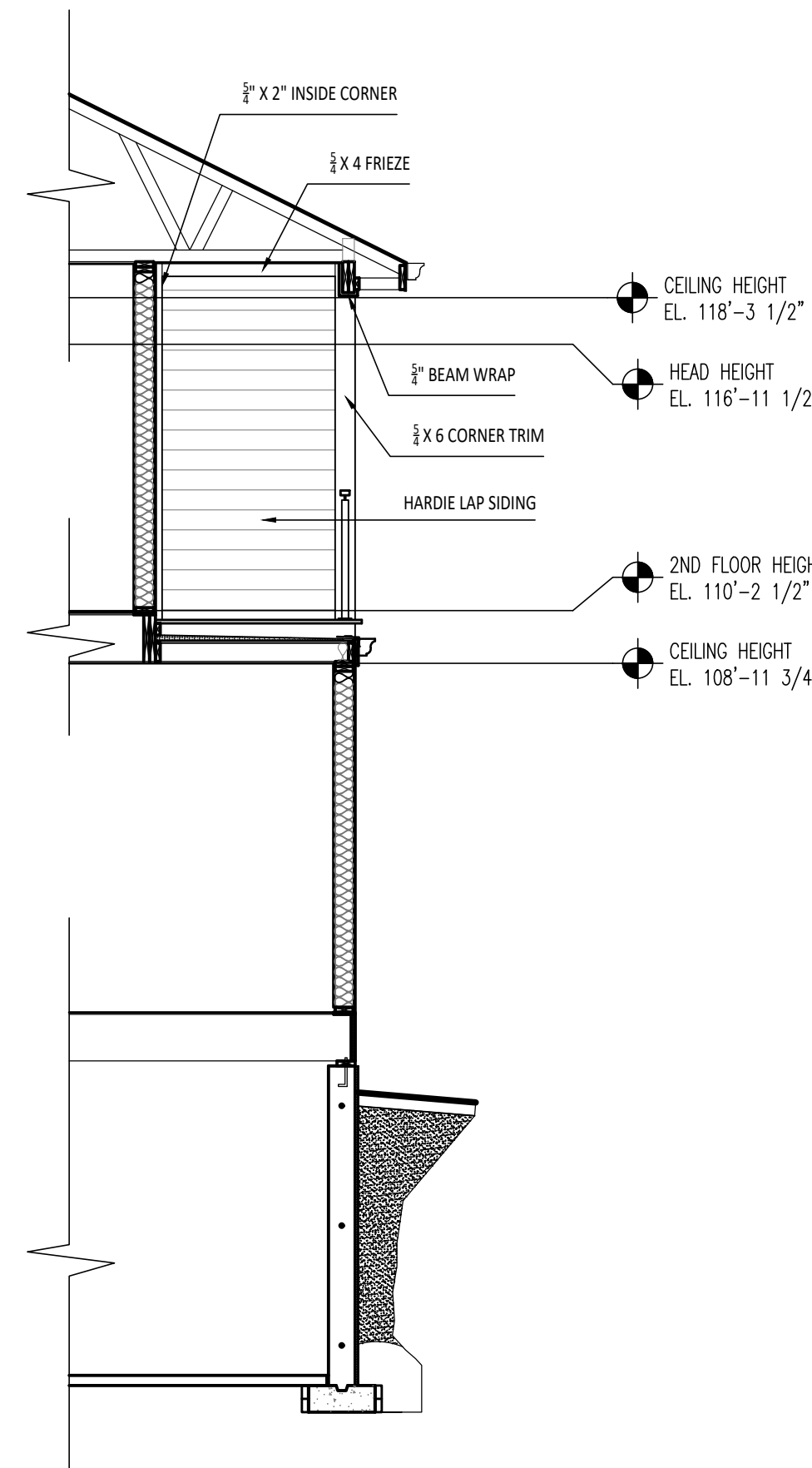
3 REAR WALL SECTION
A2 SCALE: 1/4" = 1'-0"



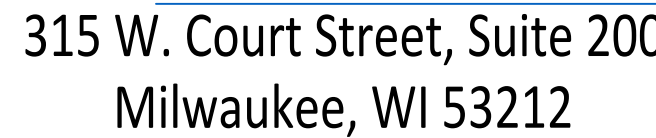
5 ENLARGED PORCH SECTION
A2 SCALE: 1/4" = 1'-0"



2 SIDE (NORTH) ELEVATION
A2 SCALE: 1/4" = 1'-0"



4 REAR WALL SECTION
A2 SCALE: 1/4" = 1'-0"



ABERCROMBIE HOME

7340 N PIEERON RD

FOUNDATION PLAN
WALL SECTION

1/31/21

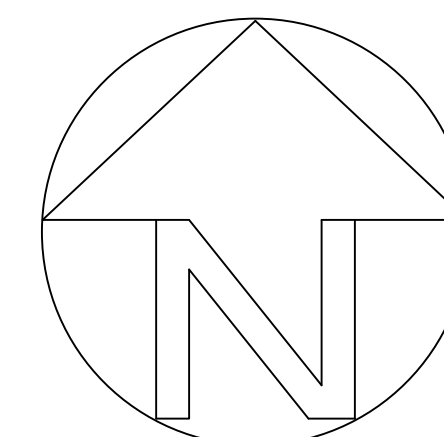
DESCRIPTION

BID PLANS

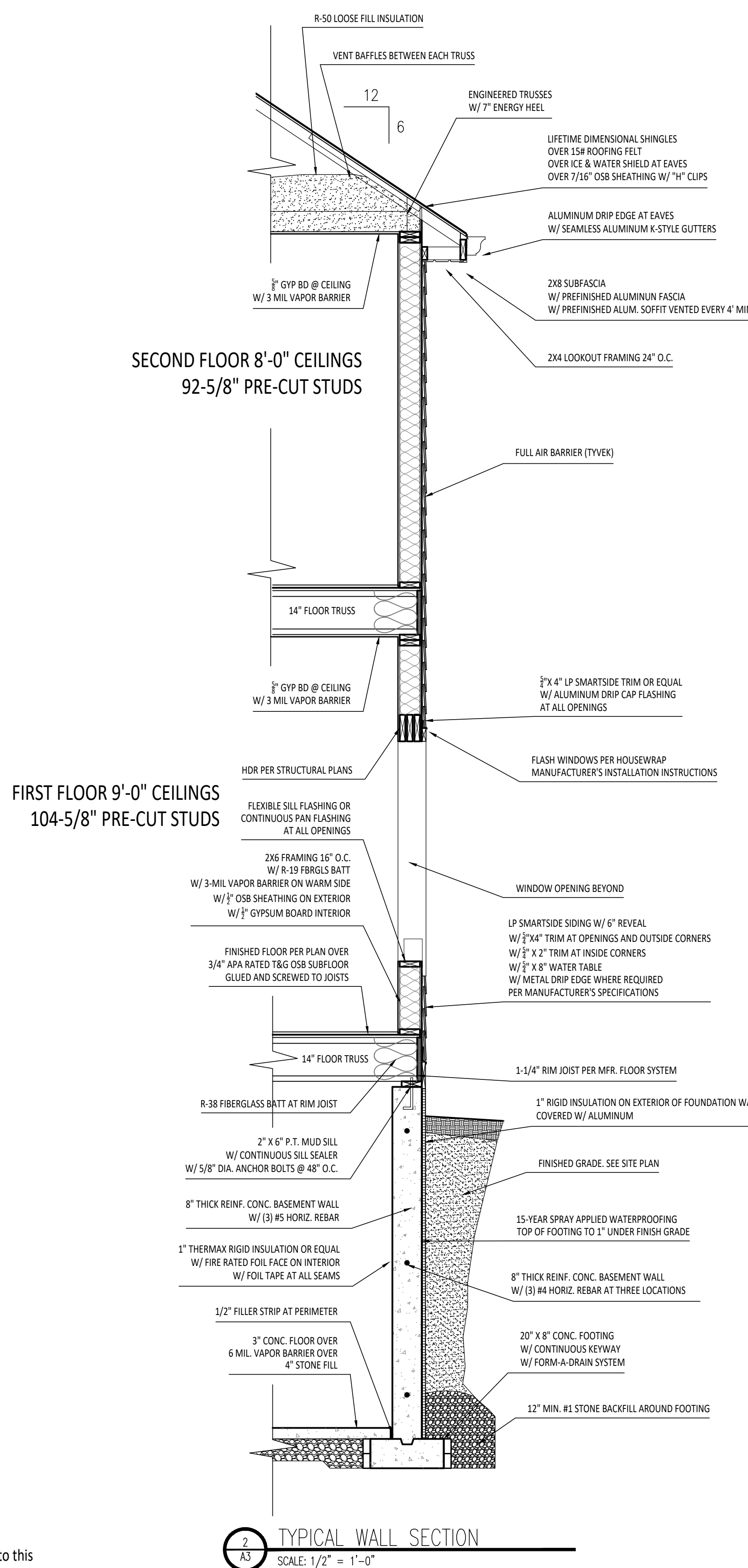
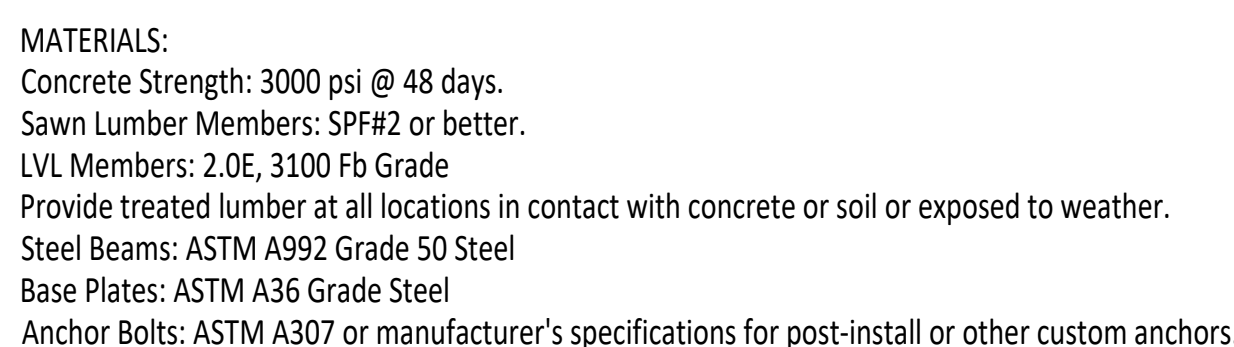
CHECK BY **M. EMEM**

PROJECT NO.

SHEET NO.

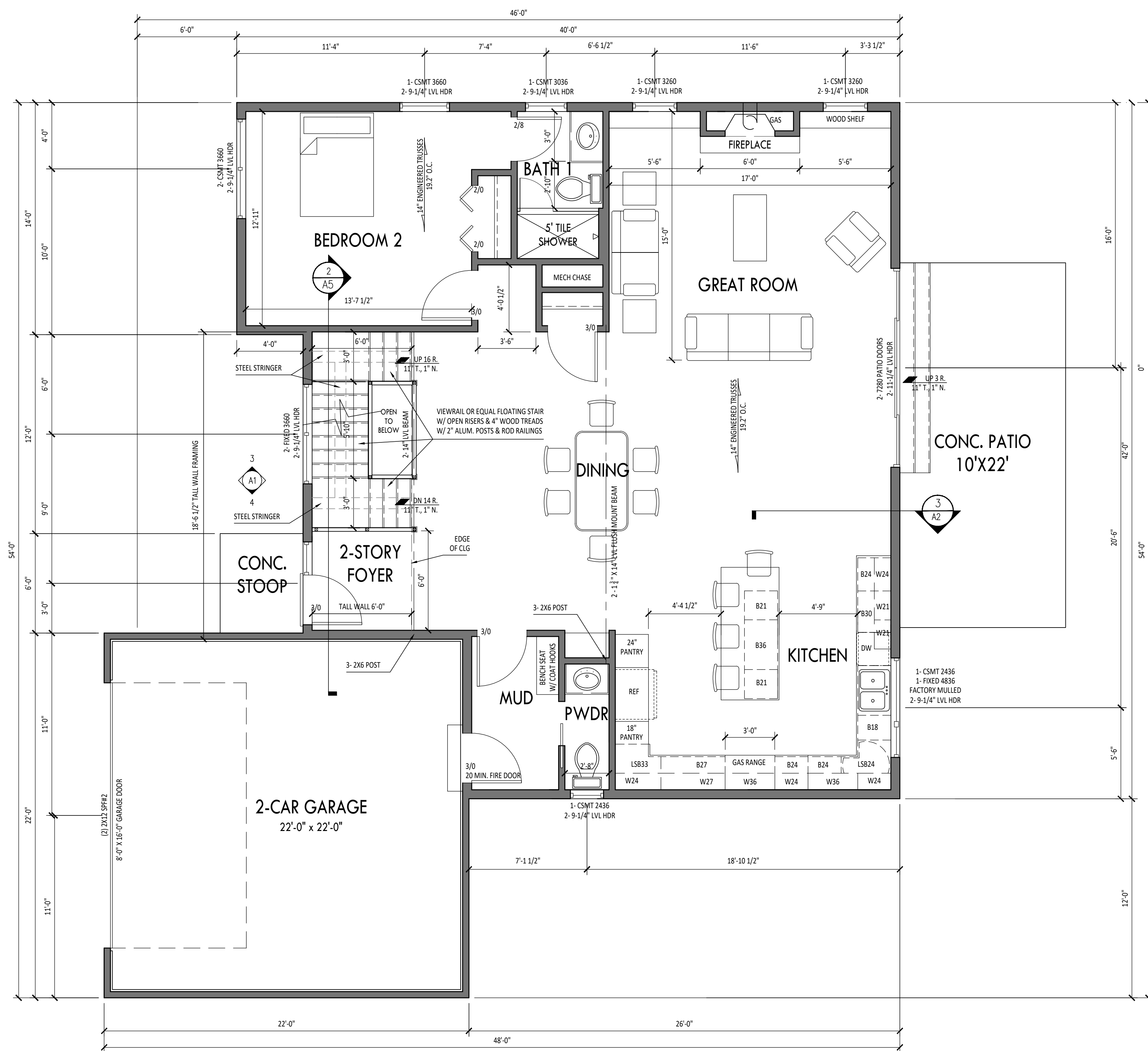


A3

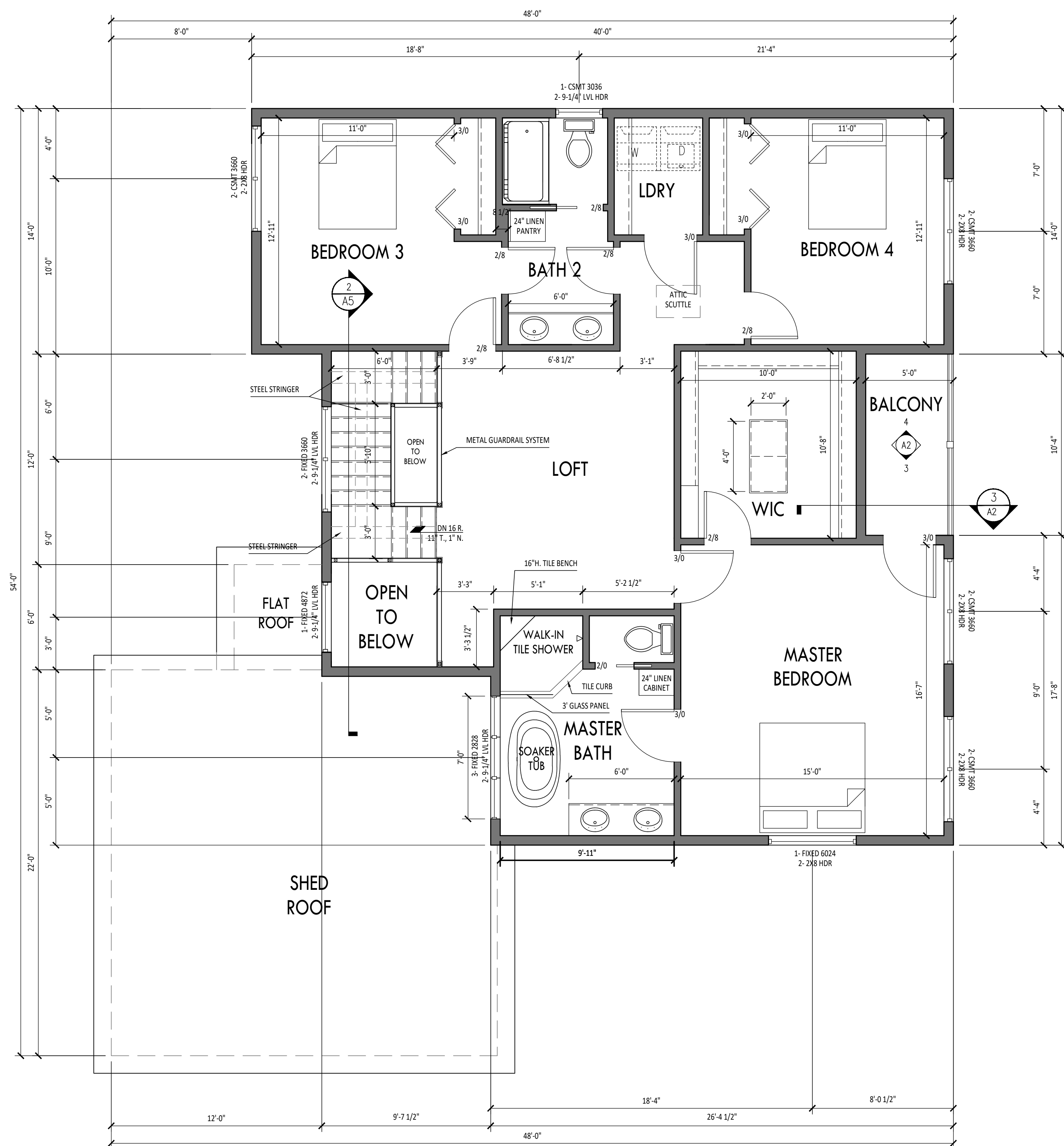


These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.

STRUCTURAL SCHEDULES	
BEAM/HEADER SCHEDULE	SHEAR WALL SCHEDULE
H-1 (2) 2 X 6 H-2 (2) 2 X 8 W/ 2 JACK STUDS AT EACH END H-3 (2) 2 X 10 H-4 (2) 2 X 12 H-5 (2) 1-3/4" X 9-1/4" LVL 2.0E H-6 (2) 1-3/4" X 11-1/4" LVL 2.0E	SW-1 SHEAR WALL W/ 2 X 6 STUDS @ 16" O.C., 1" OSB SHEATHING, BLOCKED, AND FASTENED AT EDGES W/ 8D COMMON NAILS AT 2' O.C. ON EXTERIOR FACE OF WALL AND 1" DRYWALL FASTENED W/ 5D COOLER NAILS AT 4" O.C. S1 CONTINUOUS WOOD STRUCTURAL PANEL BRACING PER SPS 321.25-6. ALL WALL SHEATHING SHALL BE 1/2" OSB FASTENED TO STUDS W/ 6D COMMON NAILS OR 8D BOX NAILS SPACED 6" ALONG EDGES AND 12" IN FIELD. SEE DETAIL 4/A3. S2 PORTAL FRAME BRACE PER SPS 321.25-4. FASTEN SHEATHING TO HEADER WITH 8D COMMON OR GALVANIZED BOX NAILS IN 3" GRID. PROVIDE HEADER TO JACK-STUD STRAP NAILS AT 3' O.C. TYP. ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING. MIN. STRAP CAPACITY SHALL EQUAL 1,000 LBS. SEE DETAIL 3/A3. S3 MIN. 1" GYPSUM BOARD INSTALLED ON BOTH SIDES OF WALL INSTALLED W/ 5D COOLER NAILS. OR 48 SCREWS SPACED 7" AT EDGES AND 7" IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.



1 FIRST FLOOR PLAN
A4 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
A3 SCALE: 1/4" = 1'-0"

CLIENT
ABERCROMBIE HOME

PROJECT
7340 N PIERRON RD
GLENDALE, WI 53209

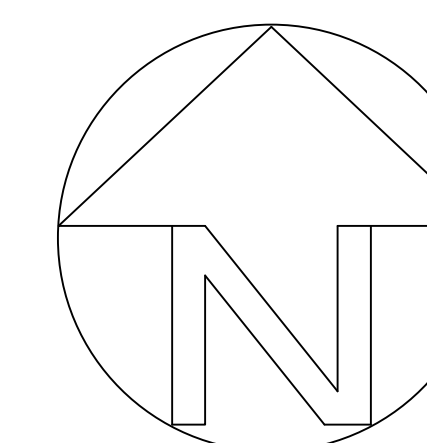
SHEET TITLE
FLOORPLANS

ISSUE DATE
1/31/21

REVISIONS
NO. DATE DESCRIPTION

BID PLANS
DRAWN BY M. EMEM
CHECK BY M. EMEM
PROJECT NO.
SHEET NO.

A4



These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.

CLIENT
ABERCROMBIE HOME

PROJECT
7340 N PIEERON RD

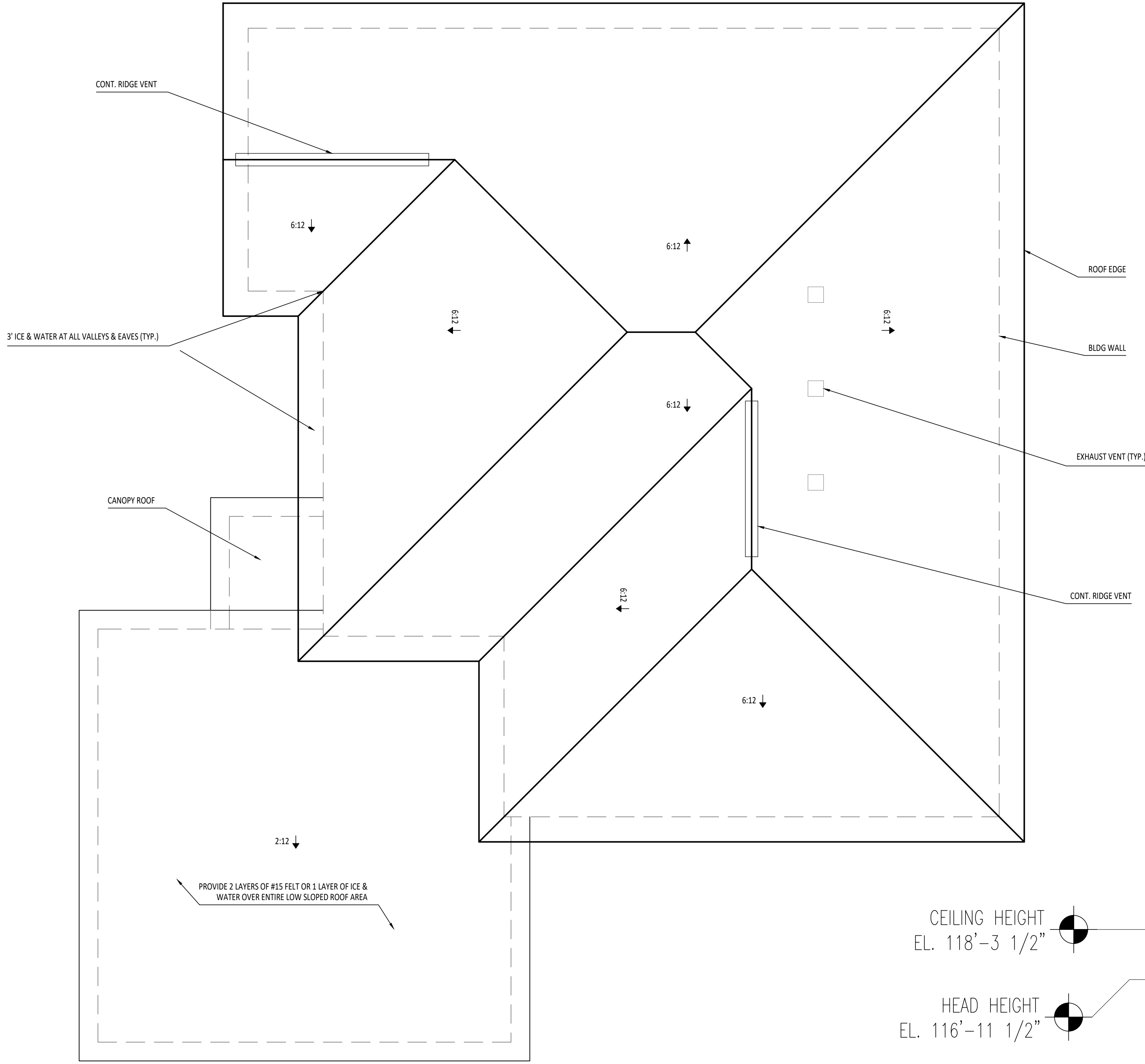
SHEET TITLE
DETAILS

ISSUE DATE
1/31/21

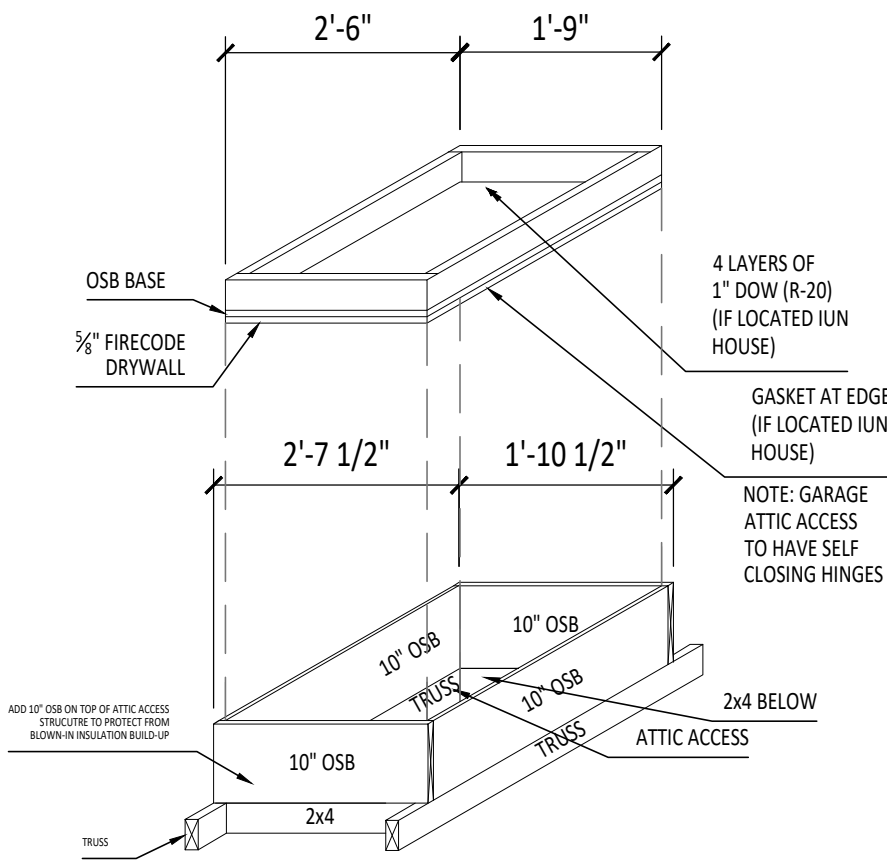
REVISIONS
NO. DATE DESCRIPTION

BID PLANS
DRAWN BY M. EMEM
CHECK BY M. EMEM
PROJECT NO.
SHEET NO.

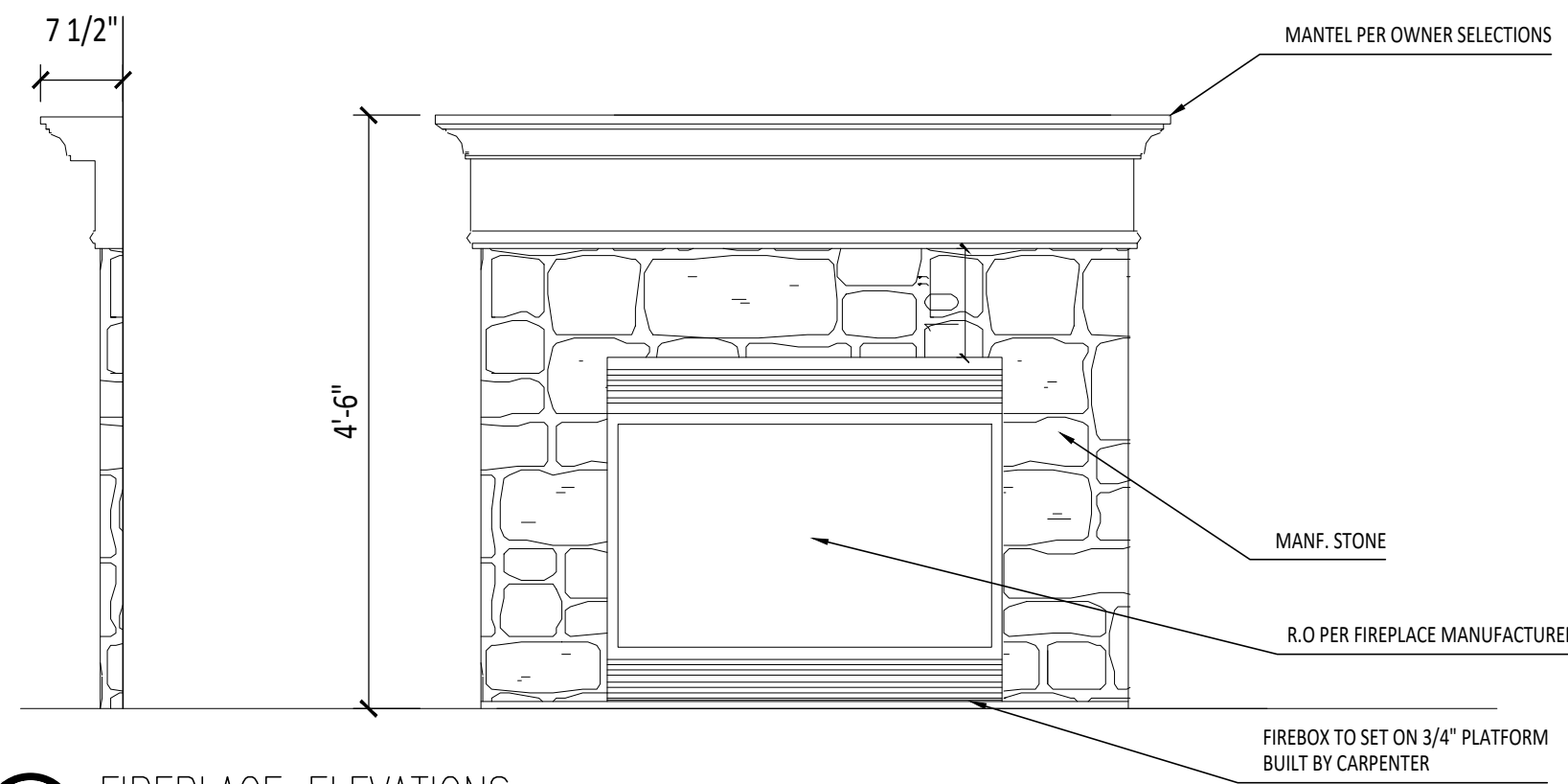
A5



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

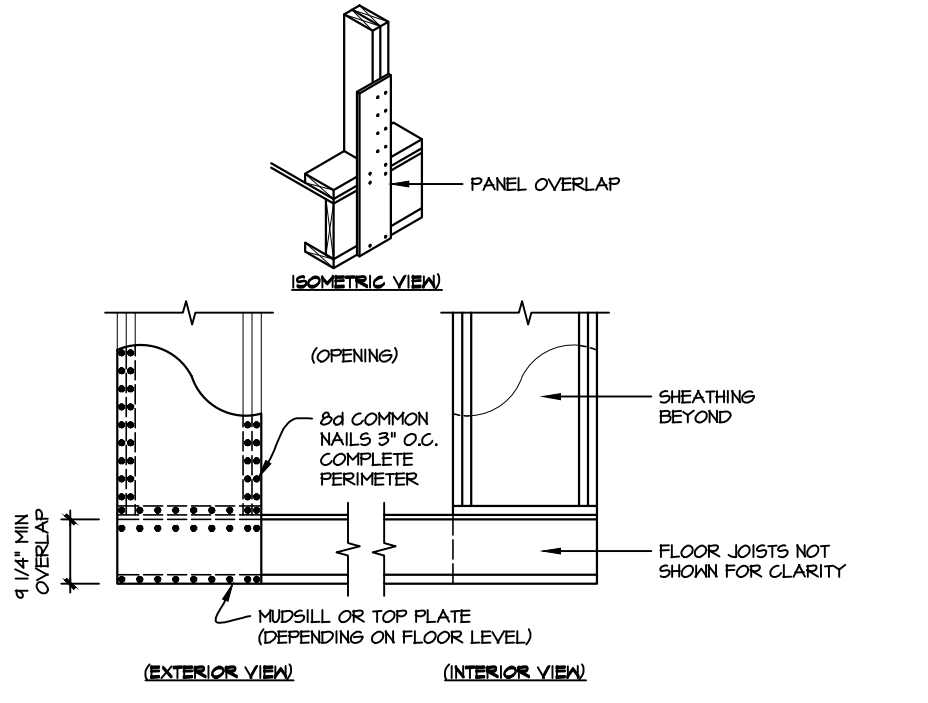


3 21'x30' ATTIC ACCESS DETAIL
SCALE: NTS

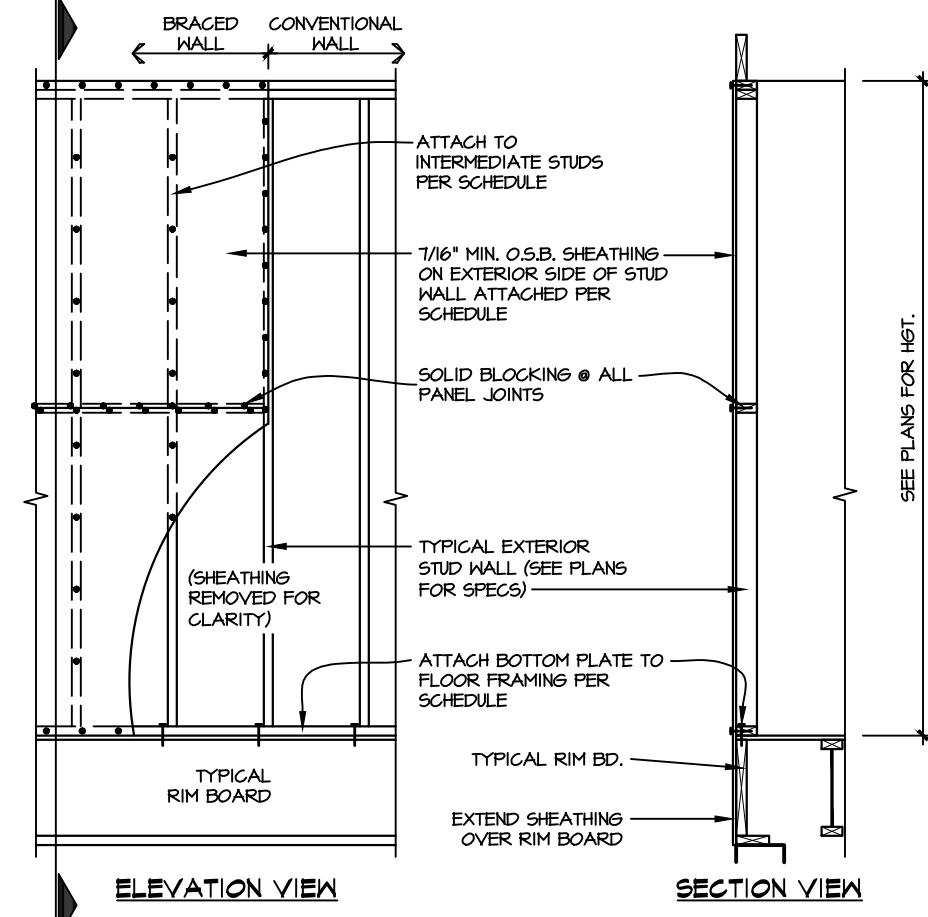


4 FIREPLACE ELEVATIONS
SCALE: NTS

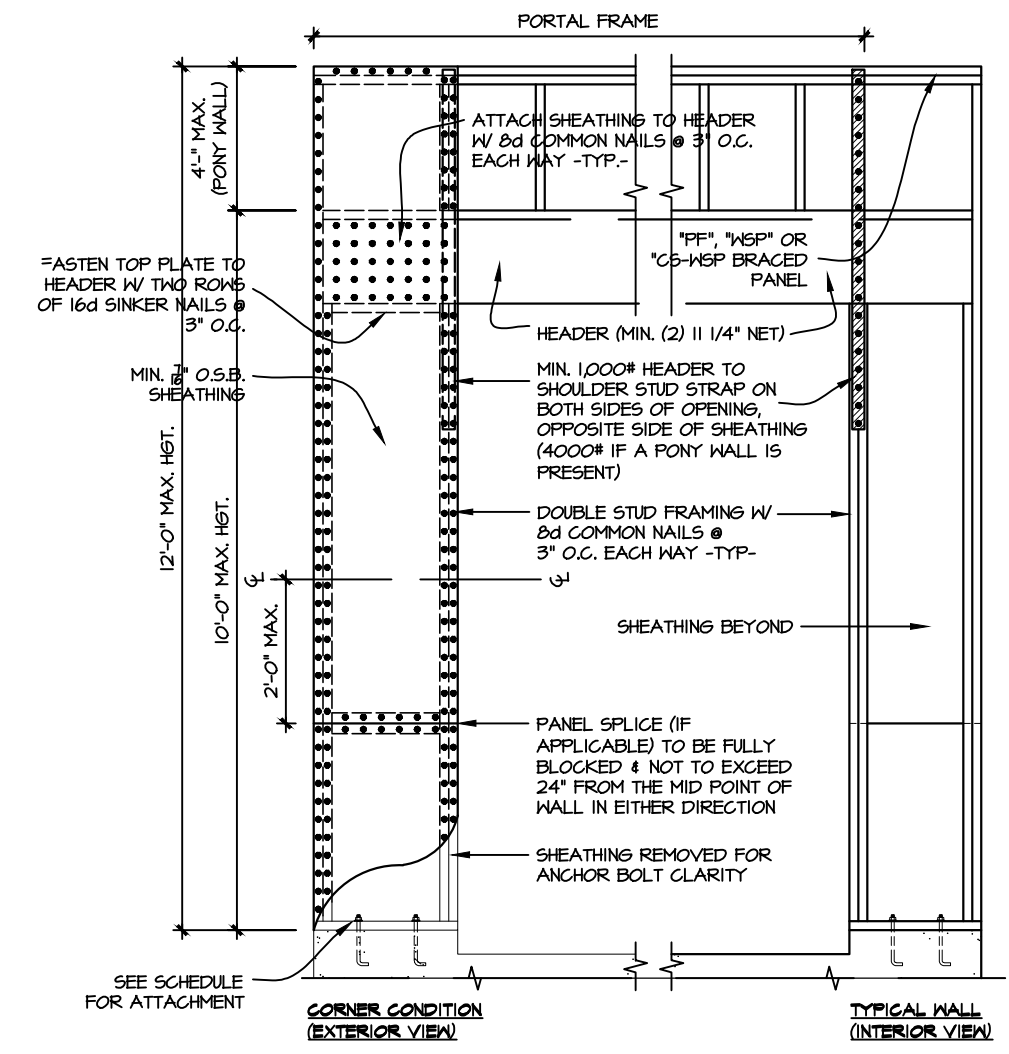
BRACED WALL PANEL SCHEDULE					
PANEL TYPE	SHEATHING	SHEATHING ATTACHMENT	TOP PLATE ATTACHMENT TO LOOS OR ROOF	BOTTOM PLATE ANCHORAGE	SOLE PLATE ANCHORAGE
WSP OR C/WSP	BLOCKED 7/8" MIN O.S.B. SHEATHING	8d COMMON NAILS @ 16" O.C. @ ALL PANEL EDGES AND 12" O.C. IN THE FIELD OR 16" O.C. @ 12" O.C. LONG SPACERS @ 16" O.C. @ 12" O.C. IN FIELD	(1) 1x4 COMMON NAILS @ 16" O.C. MINIMUM	(1) 1x4 COMMON NAILS @ 16" O.C. MINIMUM	SIMPSON "MASE" STRAPS OR 2" DIA. ANCHOR BOLTS @ 12" O.C.
PF	BLOCKED 7/8" MIN O.S.B. SHEATHING (SEE VERT.)	8d NAILS 3" O.C. @ ALL PANEL EDGES & INTERMEDIATE BLOCKING 7" O.C. BOTH WAYS @ SHEATHING TO HEADER OVERLAP	(1) 1x4 COMMON NAILS @ 16" O.C. MINIMUM	(2) SIMPSON "MASE" STRAPS EQUALLY SPACED @ 12" O.C. DIA. ANCHOR BOLTS W/ 2" X 2" X 3/4" PLATE BOLTS	(SEE "BOTTOM PLATE ANCHOR.")



6 ASSEMBLY DETAIL
SCALE: NTS



7 WOOD SHEATHED STRUCTURAL PANEL (WSP) DETAIL
SCALE: NTS



8 PORTAL FRAME (PF) DETAIL
SCALE: NTS

CEILING HEIGHT
EL. 118'-3 1/2"

HEAD HEIGHT
EL. 116'-11 1/2"

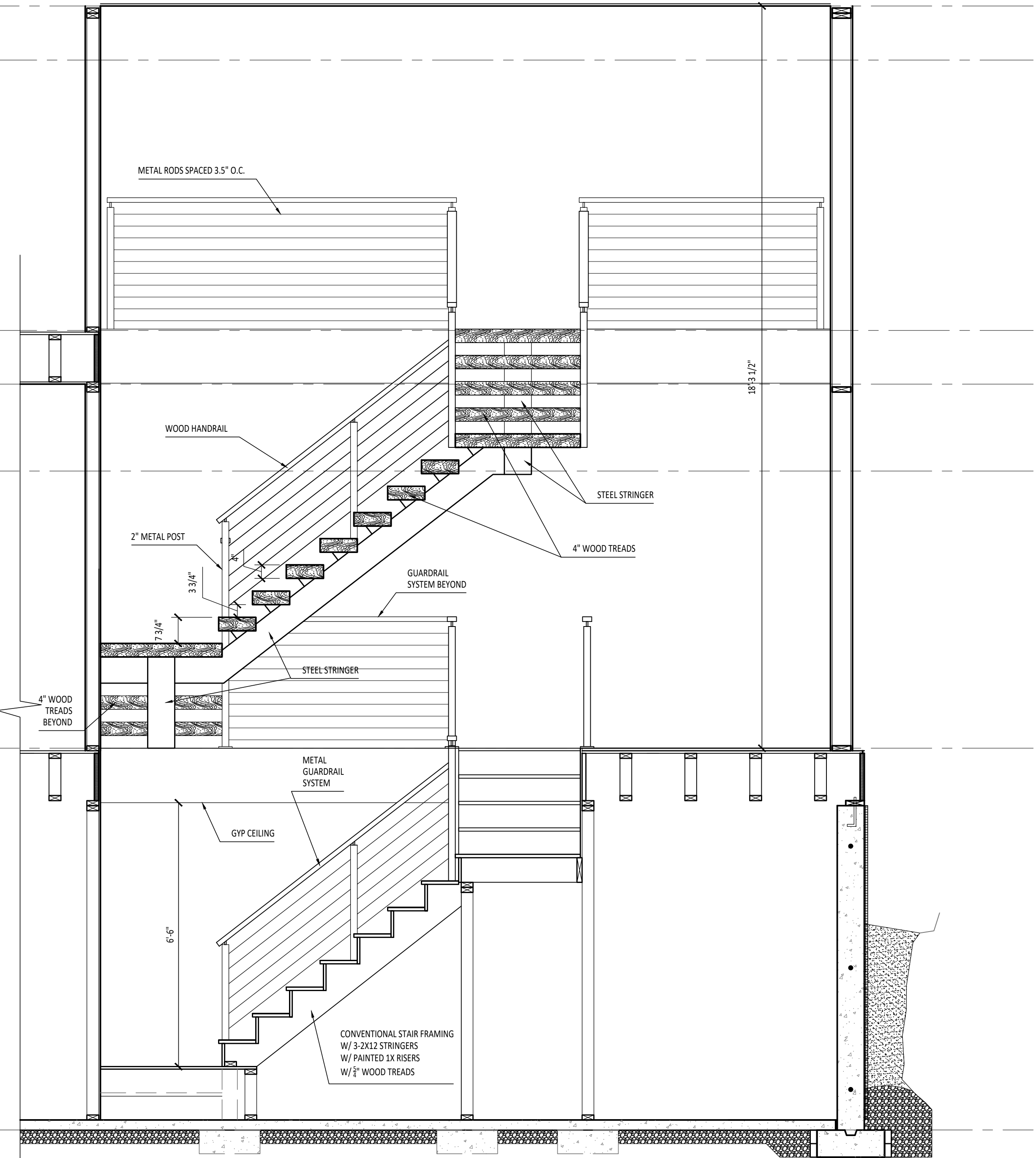
2ND FLOOR HEIGHT
EL. 110'-3 1/2"

CEILING HEIGHT
EL. 108'-11 3/4"

HEAD HEIGHT
EL. 106'-8"

FLOOR HEIGHT
EL. 100'-0"

TOP OF FOOTING
EL. 90'-7"



2 STAIR SECTION
SCALE: 1/2" = 1'-0"

These plans are the property of Emem Group, LLC. All rights reserved. No reproduction without expressed written permission from Emem Group, LLC. Copyright 2020.

CLIENT

ABERCROMBIE HOME

PROJECT

7340 N PIEERON RD

SHEET TITLE

ELECTRICAL PLAN

ISSUE DATE

1/31/21

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

BID PLANS

DRAWN BYM. EMEM

CHECK BYM. EMEM

PROJECT NO.

SHEET NO.

E1

GENERAL NOTES - ELECTRICAL PLANS

1. CENTER OF BATH LIGHT TO BE 87" ABOVE TOP OF SUBFLOOR FOR 9'-1 1/4" PLATE HEIGHT (82" ABOVE FOR 8'-1 1/4" PLATE HEIGHT)
2. BOTTOM OF LIGHTS ABOVE DINING OR NOOK TABLE TO BE 62" ABOVE FLOOR
3. BOTTOM OF LIGHTS ABOVE KITCHEN SNACK BAR TO BE 30" ABOVE COUNTERTOP
4. LOCATION OF ELECTRICAL ITEMS MAY VARY FROM PLAN. BUILDER RESERVES THE RIGHT TO REVISE LOCATION AS BUILDER DEEMS NECESSARY AND IN COMPLIANCE WITH APPLICABLE BUILDING AND ELECTRICAL CODES WITHOUT FURTHER NOTICE TO OWNER
5. WIRING FOR AND INSTALLATION FOR CEILING FANS OR CEILING FANS/LIGHTS IS NOT INCLUDED UNLESS NOTED ON ELECTRICAL PLANS
6. PER CODE, THE OWNER CANNOT INSTALL A CEILING FAN ONLY IN LIEU OF A CEILING LIGHT UNLESS THERE IS A SWITCHED 3/4" HOT OUTLET IN THE ROOM. IF THE OWNER IS PLANNING TO INSTALL ANY CEILING FANS OR CEILING FAN/LIGHTS BY OWNER, DO NOT HAVE THESE ITEMS DELIVERED TO THE HOUSE. IF CEILING FANS ARE ON SITE, THEY WILL BE INSTALLED BY THE ELECTRICIAN AND THE OWNER WILL BE CHARGED ACCORDINGLY.

ELECTRICAL KEY CODE:

- 

= SMOKE DETECTOR



= EYE BALL FIXTURE



= RECESSED FIXTURE



= MINI RECESSED FIXTURE



= WALL SCONCE



= WALL RECEPTACLE



= SWITCHED WALL RECEPTACLE



= ELEC. EXHAUST FAN



= CEILING FIXTURE



= FLORESCENT FIXTURE



= SWITCH



= THREE WAY SWITCH



= DIMMER SWITCH
- 

= FLOOR RECEPTACLE



= GROUND FAULT INSUL. RECEPTACLE



= WATER PROOF RECEPTACLE



= 220 VOLT RECEPTACLE



= SEPARATE CIRCUIT



= THERMOSTAT



= CAT-6 JACK



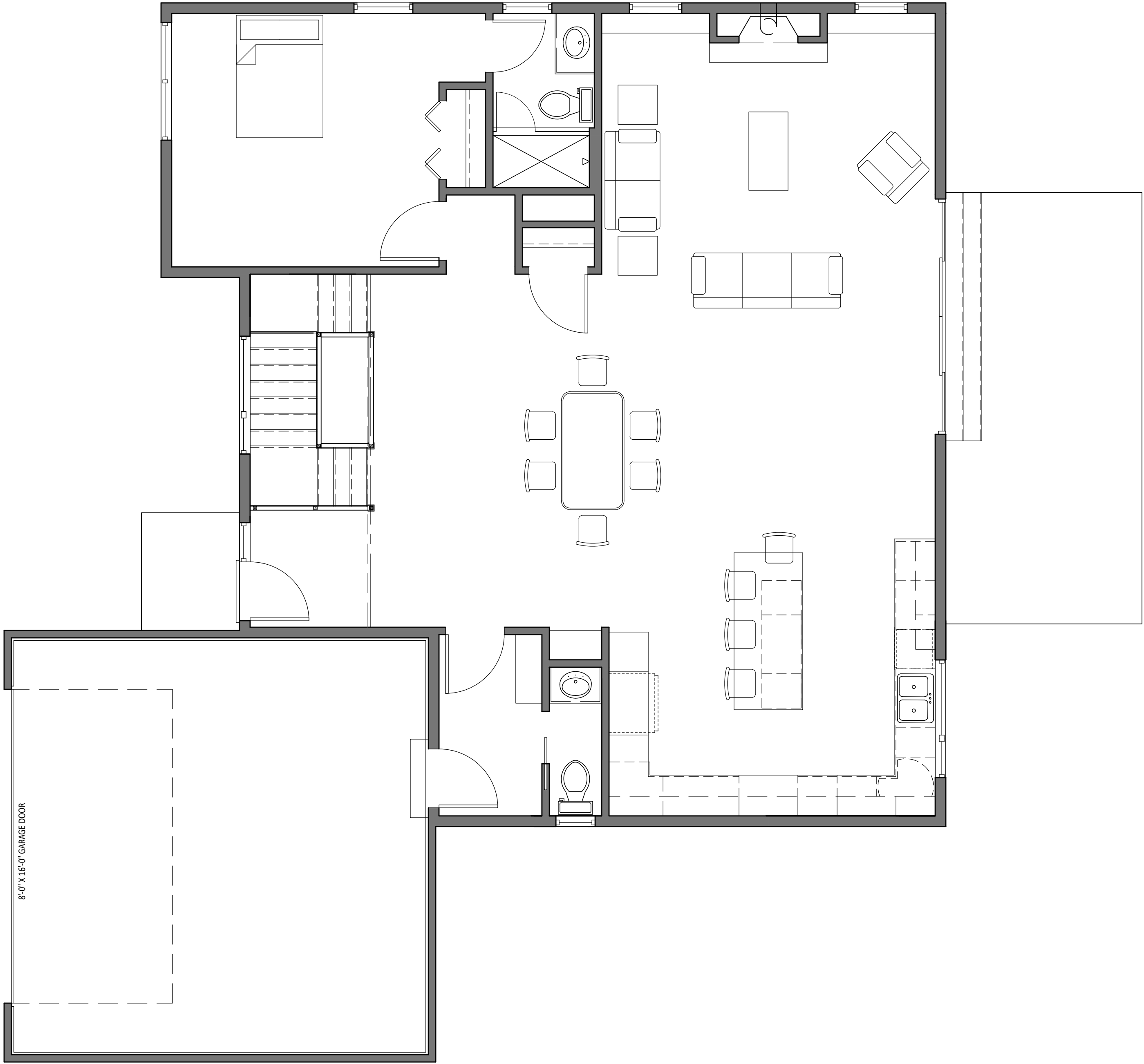
= CABLE TV JACK



= CEILING FAN



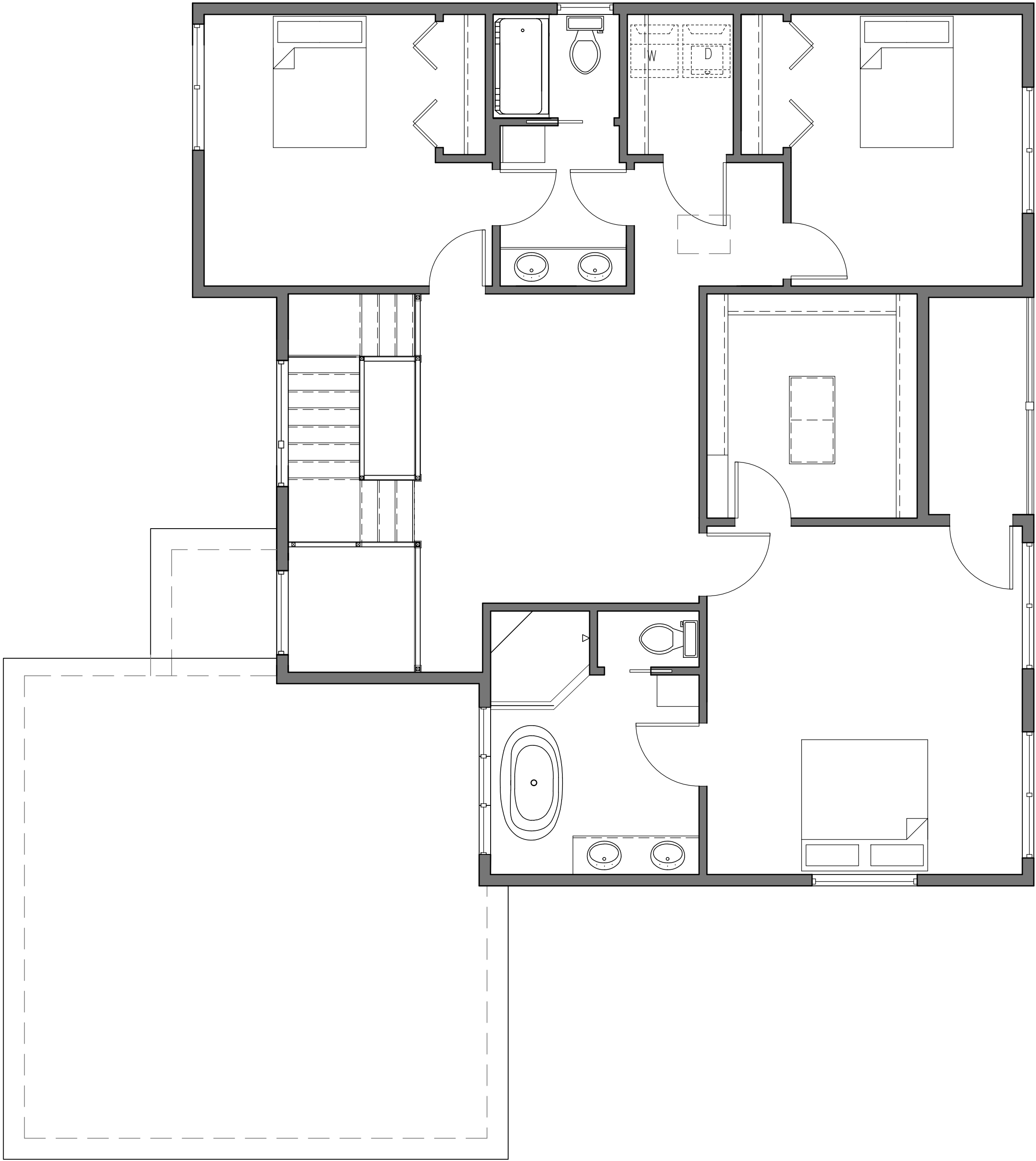
= SECURITY SYSTEM PANEL



1
E1

1ST FLR ELECTRICAL PLAN

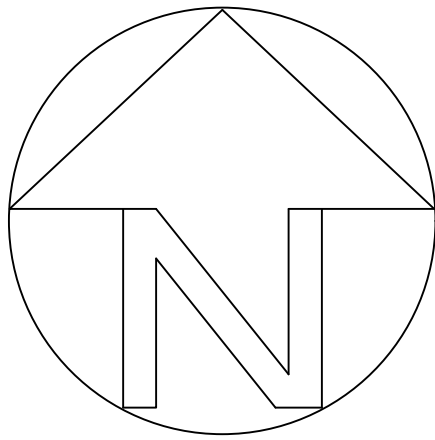
SCALE: 1/4" = 1'-0"



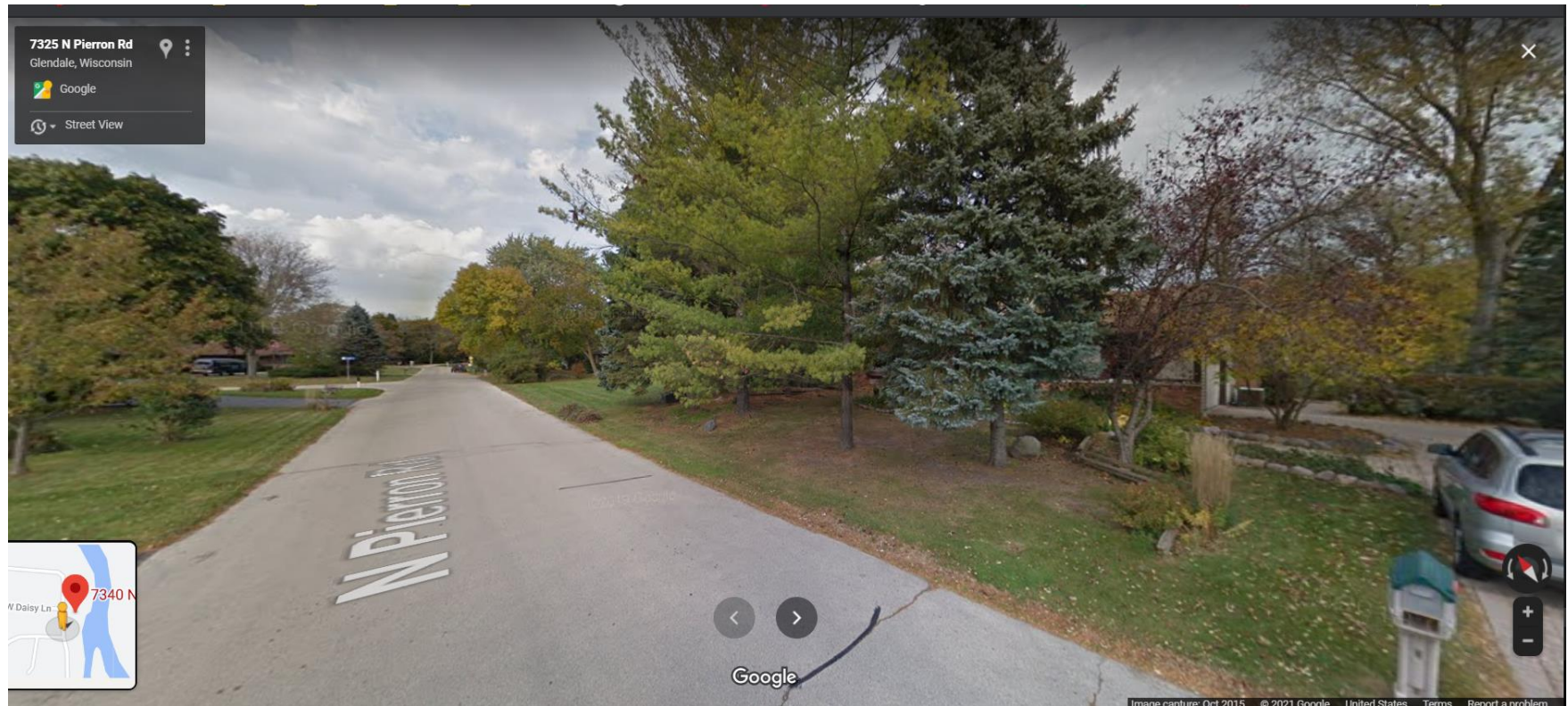
2
E1

2ND FLR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



SITE PHOTOS



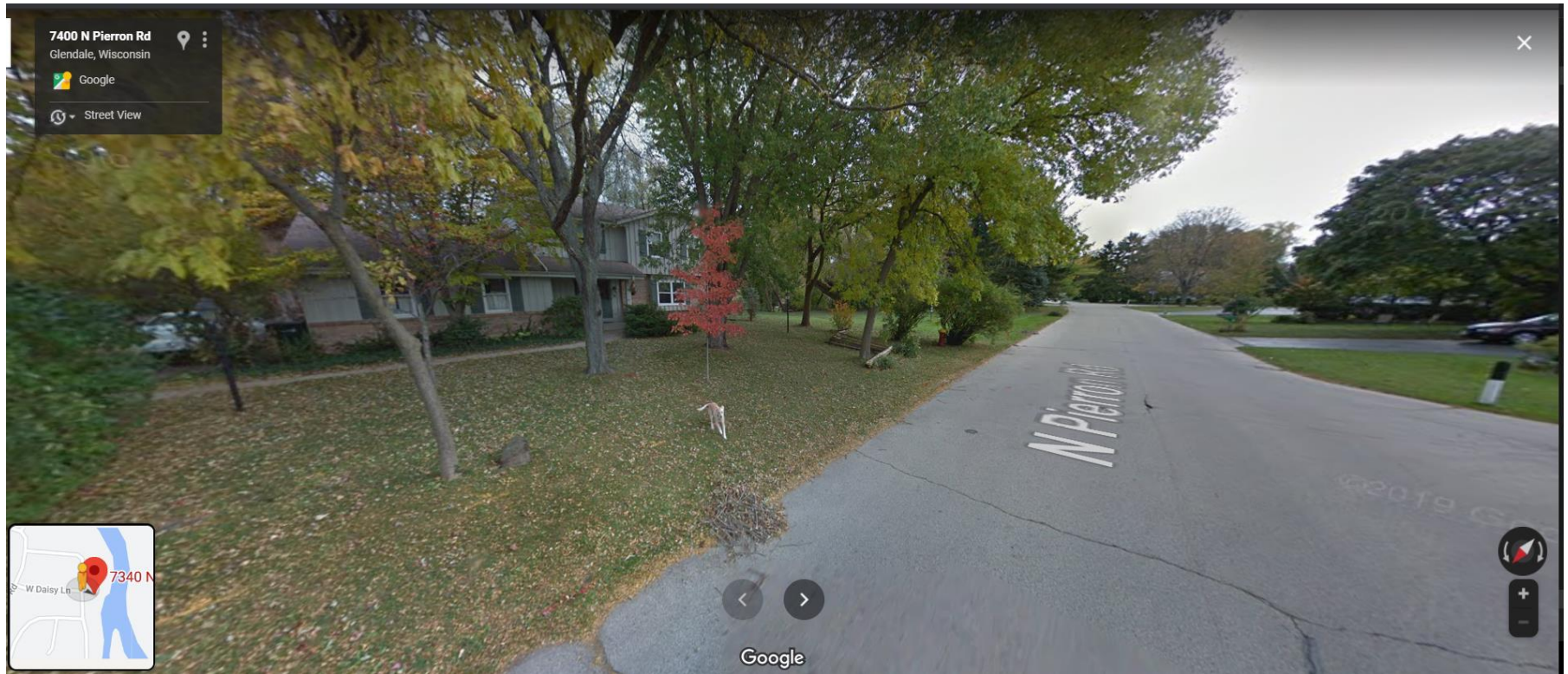
VIEW OF SOUTHERN NEIGHBOR'S PROPERTY AT 7325 N PIERRON RD



PROJECT SITE AT 7340 N PIERRON RD



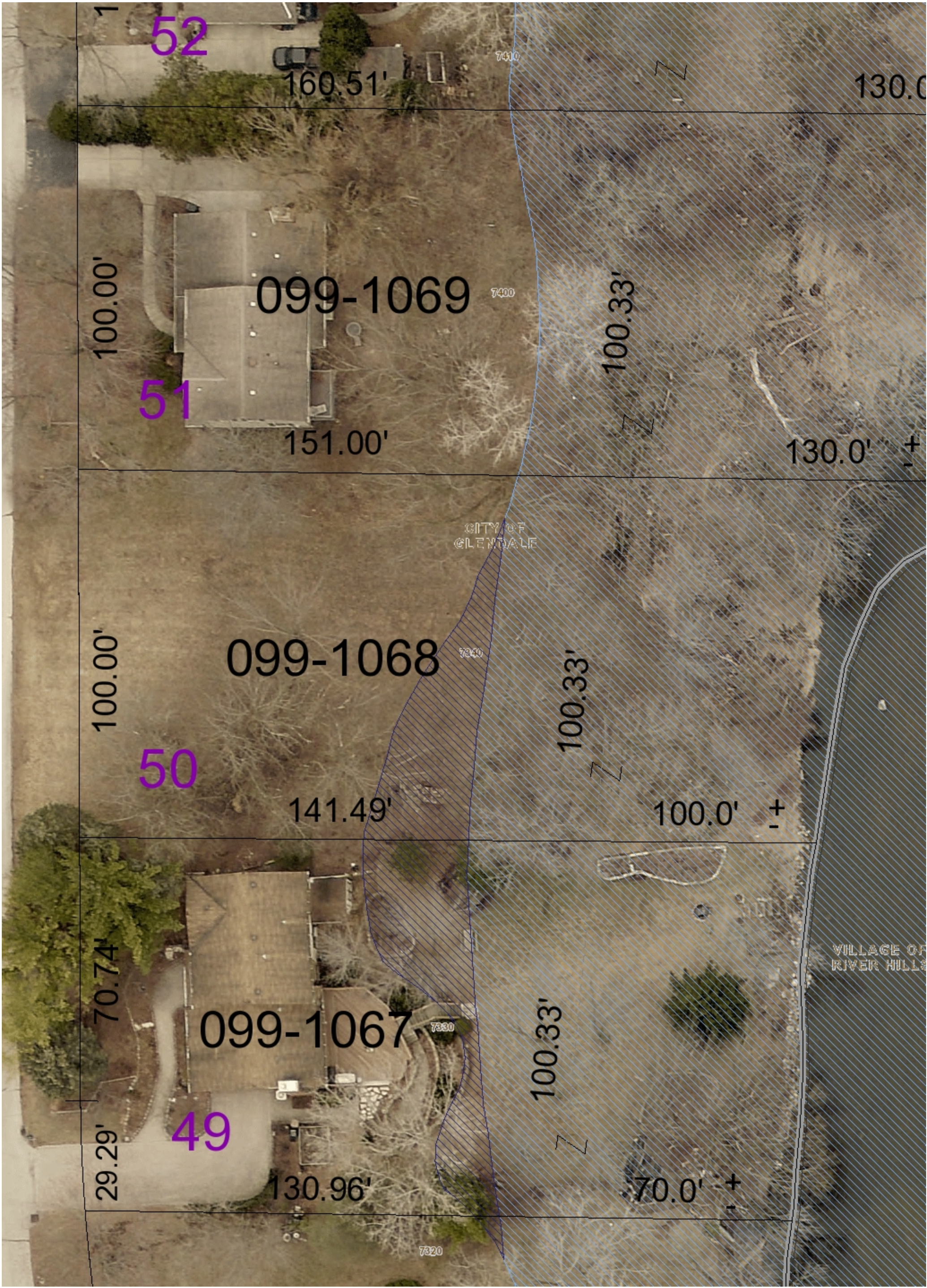
VIEW OF NEIGHBOR'S PROPERTY TO THE WEST OF THE SUBJECT PROPERTY



VIEW OF NEIGHBOR'S PROPERTY TO THE NORTH OF SUBJECT SITE



7340 N Pierron Rd



Projection
NAD_1983_2011_StatePlane_Wisconsin_South_FIPS_48
03_Ft_US



1: 282

47 0 24 47 Feet

Notes

DISCLAIMER: This map is a user generated static output from the Milwaukee County Land Information Office Interactive Mapping Service website. The contents herein are for reference purposes only and may or may not be accurate, current or otherwise reliable. No liability is assumed for the data delineated herein either expressed or implied by Milwaukee County or its employees.



7340 N Pierron Rd



Projection
NAD_1983_2011_StatePlane_Wisconsin_South_FIPS_48
03_Ft_US



1: 1,129

188 0 94 188 Feet

Notes

DISCLAIMER: This map is a user generated static output from the Milwaukee County Land Information Office Interactive Mapping Service website. The contents herein are for reference purposes only and may or may not be accurate, current or otherwise reliable. No liability is assumed for the data delineated herein either expressed or implied by Milwaukee County or its employees.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

© MCAMLIS